

PMB&B

PERSKIE MAIRONE BROG BARRERA & BAYLINSON

A PROFESSIONAL CORPORATION

COUNSELLORS AT LAW

CORNERSTONE COMMERCE CENTER

1201 NEW ROAD, SUITE 204, LINWOOD, NJ 08221

609-601-1775 FAX: 609-601-8440

PHILIP J. PERSKIE*
STEVEN J. BROG**
CHRISTOPHER M. BAYLINSON***
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ALEXANDER J. BARRERA*

COUNSEL TO THE FIRM
STEVEN P. PERSKIE*

*MASTER OF LAWS TAXATION
**ALSO MEMBER OF NY BAR
***CERTIFIED CIVIL TRIAL ATTORNEY

REPLY TO LINWOOD OFFICE

April 22, 2021

Robin Atlas, Secretary
Northfield Planning Board
1600 Shore Road
Northfield, NJ 08225

Re: Application of Learning Edge Academy Inc. d/b/a Children Academy
234 Ridgewood Drive
Block 75, Lot 33
Northfield, New Jersey
Our File No.: 12334-2B

Dear Ms. Atlas:

We represent Learning Edge Academy Inc. d/b/a Children Academy with respect to its application to the Northfield Planning Board scheduled to be heard on June 3, 2021. In accordance with Northfield's filing instructions, I am providing a copy of the following to each Planning Board member as indicated on the attached list (with the exception of Mr. Doran and Mr. Fleishman, both of whom previously received copies):

1. (1) – Planning Board Application with Variance Report and Site Plan Checklist;
2. (1) – Plan prepared by Engineering Design Associates, P.A., consisting of the following eight sheets:
 - Cover Sheet, revised through 3/22/21
 - Site Plan, revised through 3/22/21
 - Grading & Drainage Plan, revised through 3/22/21
 - Landscape & Lighting Plan, revised through 3/22/21
 - Engineering Details (two sheets), dated 3/1/21
 - Engineering Details, revised through 3/22/21
 - Soil Erosion & Sediment Control, dated 3/1/21
3. (1) – Architectural plan prepared by Fenwick Architects dated 3/10/21, consisting of Sheets A-1 and A-2;
4. (1) – Topographic Boundary Survey prepared by Duffy Dolcy McManus & Roesch dated 01-18-21;

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Robin Atlas, Secretary
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Page 2 of 2

5. (1) – Stormwater Management Report prepared by Engineering Design Associates, P.A. dated March 22, 2021;
6. (1) – Children Academy informational materials including narrative of the daycare operations;
7. (1) – Corporate Disclosure Certification;
8. (1) – Executed Agreement of Sale (first page and signature page);
9. (1) – 200 foot property owners’ list;
10. (1) – Confirmation of paid taxes.

Should you require any further information in advance of the June 3rd hearing date, please do not hesitate to contact me.

Thank you as always for your kind attention and usual courtesies.

Very truly yours,

PERSKIE MAIRONE BROG
BARRERA & BAYLINSON, P.C.

BY: 
CHRISTOPHER M. BAYLINSON
cmabaylinson@pmbb.com

CMB:dbm
Enclosures

- c: Northfield Planning Board Members (see attached list) (w/ encl.)
Stephen J. Fenwick, R.A. (via email) (w/o encl.)
Matthew Hender, L.L.A., P.P. (via email) (w/o encl.)
Liz and Femi Palmer (via email) (w/o encl.)

**City of Northfield Planning Board 1600 Shore Road Northfield, New Jersey 08225
(609) 641-2832, ext. 127**

2021 Members:

Dr. Richard Levitt, Chairman	2204 Bay Avenue Northfield, New Jersey 08225
Erland Chau, Mayor	1001 Shore Road Northfield, New Jersey 08225
Paul Utts, Councilman	144 E. Rosedale Avenue Northfield, New Jersey 08225
Chief Paul Newman	City of Northfield 1600 Shore Road Northfield, New Jersey 08225
Clem Scharff, Vice Chairman	105 Circle Drive Northfield, New Jersey 08225
Derek Rowe	6 Mazza Drive Northfield, New Jersey 08225
Ronald Roegiers	110 Northwood Court Northfield, New Jersey 08225
Jim Shippen	2306 Shepherd Drive Northfield, New Jersey 08225
Jim Leeds	35 Northfield Plaza Northfield, New Jersey 08225
Henry Notaro (alternate #1)	108 Catherine Place Northfield, New Jersey 08225
Joseph Dooley (alternate #2)	230 Dolphin Avenue Northfield, New Jersey 08225
Peter Brophy (alternate #3)	11 Twelve Oaks Drive Northfield, New Jersey 08225
Daniel Reardon (alternate #4)	7 Lesley Lane Northfield, New Jersey 08225
Matt Doran, Professional Engineer	840 North Main Street Pleasantville, New Jersey 08232
Joel M. Fleishman, Esquire	Fleishman-Daniels Law Offices, LLC 646 Ocean Heights Avenue, Suite 103 Linwood, New Jersey 08221
Robin Atlas, Secretary	City of Northfield 1600 Shore Road Northfield, New Jersey 08225

PLANNING BOARD APPLICATION

CASE # _____

FOR OFFICIAL USE ONLY

Date of Application Received: _____

Date: _____ Date of Deposit

Fee Paid _____

Date: _____ Affidavit of Service

Time Period Expires _____

Date File Complete _____

Hearing Date _____

INFORMATION REGARDING APPLICANT

Applicant's Full Legal Name Learning Edge Academy Inc. d/b/a Children Academy

Applicant's Mailing Address 213 East Jimmie Leeds Road, Galloway , NJ 08205

Applicant's Phone Number (609) 404-4700 e-mail address owner@childrenacademynj.com

Applicant is a: Corporation ✓ Partnership Individual

Pursuant to N.J.S.A. 40:55D-48.1, the names and addresses of all persons owning 10% of the stock in a corporation or partnership must be disclosed. Attach list.

NATURE OF APPLICATION, check appropriate items:

- Appeal of action of administrative officer
- Interpretation of development ordinance or map
- Variance: "C" Variance (Hardship)
- "D" Use Variance
- "D" Non-Conforming Use
- Conditional use
- Subdivision - Minor
- Subdivision - Major
- Site Plan - Waiver
- Site Plan - Minor
- Site Plan - Major
- Other _____

Proposed use, Building, or Subdivision is contrary to: See Addendum
List Article and Section of the Ordinance from which Variance is sought:

ART. _____ Section _____ Required _____ Proposed _____
 ART. _____ Section _____ Required _____ Proposed _____
 ART. _____ Section _____ Required _____ Proposed _____

If additional space is needed, attach list to the application

INFORMATION REGARDING PROPERTY:

Address: Northfield Plaza, 234 Ridgewood Drive, Northfield, NJ 08225

Tax Map BLK 75 LOT(S) 33 Dimension of Property 183.66 x 221.19

BLK _____ LOT(S) _____ Dimension of Property _____

Zoning District C-B

Location approximately _____ feet from intersection of Ridgewood Drive
and Route 9

Last Previous Occupancy Commercial / Travel Agency

	<u>Size Existing Building</u>	<u>Proposed Structure</u>
Front (feet)	<u>@ 100'</u>	<u>@ 89'</u>
Deep (feet)	<u>100'</u>	<u>89'</u>
Square (feet)	<u>3,756 s.f.</u>	<u>8,900 s.f. (w)</u>
Height (feet)	<u>@25'</u>	<u>@25'</u>
Story	<u>1 story</u>	<u>1 story</u>
Building Coverage	<u>9.3%</u>	<u>21.9%</u>

my mailing address is
Owner's Authorization: I hereby certify that I reside at: 204 Meadowview Avenue, Linwood, NJ 08221

In the County of Atlantic State of New Jersey

and that I am the owner of all that certain lot, 33; Piece or parcel of land known as

Block 75 Lot(s) 33 commonly known as 234 Ridgewood Drive

which property is the subject of the applicant, and said application is hereby authorized by me.

Owner's Signature _____

Applicant's Attorney Christopher M. Baylinson, Esq. Phone # (609) 601-1775

Address 1201 New Road, Suite 204, Linwood, NJ 08221

Applicant's Engineer Vincent C. Orlando, PE Phone # (609) 390-0332

Address 5 Cambridge Dr., Ocean View, NJ 08230

Applicant's Architect Stephen J. Fenwick, R.A. Phone # (609) 653-0222

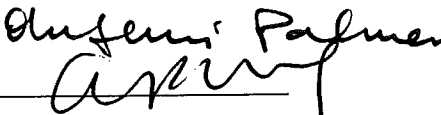
Address 646 Ocean Heights Ave., Linwood, NJ 08221

Applicant's Planner _____ Phone # _____

Address _____

Applicant's Verification:

I hereby certify that the above statements made by me and the information contained in the papers submitted in connection with application is true.

Applicants Signature 

Notice: The applicant is responsible to publish and serve notice of this application after receiving a hearing date from the Secretary of the Planning Board, ten (10) days prior to the hearing date.

my mailing address is
Owner's Authorization: I hereby certify that I reside at: 204 Meadowview Avenue, Linwood, NJ 08221
In the County of Atlantic State of New Jersey

and that I am the owner of all that certain lot, 33; Piece or parcel of land known as
Block 75 Lot(s) 33 commonly known as 234 Ridgewood Drive

which property is the subject of the applicant, and said application is hereby authorized by
me.

Owner's Signature X Jeonette Diemza

Applicant's Attorney Christopher M. Baylinson, Esq. Phone # (609) 601-1775

Address 1201 New Road, Suite 204, Linwood, NJ 08221

Applicant's Engineer Vincent C. Orlando, PE Phone # (609) 390-0332

Address 5 Cambridge Dr., Ocean View, NJ 08230

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Address 646 Ocean Heights Ave., Linwood, NJ 08221

Applicant's Planner _____ Phone # _____

Address _____

Applicant's Verification:

I hereby certify that the above statements made by me and the information contained in the papers
submitted in connection with application is true.

Applicants Signature _____

Notice: The applicant is responsible to publish and serve notice of this application after receiving a
hearing date from the Secretary of the Planning Board, ten (10) days prior to the hearing date.

CERTIFICATION OF OWNER

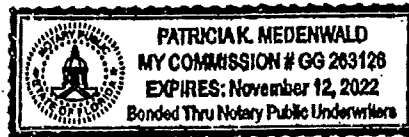
This is to certify that the plans and/or survey plans with the measurements shown have been drawn by me as the owner of the property regarding BLOCK 75 LOT(S) 33
Commonly known as 234 Ridgewood Drive
(address)

Have been drawn as accurately as possible to the best of my knowledge.

Owner's Name Jeannette Diemza
Address 204 Meadowview Avenue
City Linwood, NJ 08221

Notary Patricia K. Medenwald

Date 3-23-2021



**Application of Learning Edge Academy Inc. d/b/a Children Academy
234 Ridgewood Drive
Block 75, Lot 33
Northfield, New Jersey**

VARIANCE REPORT

The following “c” variances are requested:

	<u>Required</u>	<u>Existing</u>	<u>Proposed</u>
1. Front yard setback	50'	20'/21.5'	20'/21.5'

Applicant proposes to demolish the existing building on the property and build a new daycare center, but essentially replicate the existing footprint. The existing front yard setback is 21.5 feet on New Road and 20 feet on Ridgeway Drive. The front yard setback requirement in the CBD zone is 50 feet. In order to comply with the 50 foot front yard setback, the property could not be feasibly developed.

	<u>Required</u>	<u>Existing</u>	<u>Proposed</u>
2. Buffer	15'	32'/66'	12.5'/ 15'

The buffers applicant proposes are compliant along the easterly property line, but are 2.5 feet deficient along the southerly property line. The decrease in buffer provides sufficient area to provide a safe drop-off / pick-up area at the front of the building within the covered porte cochère. Enhanced plantings within the buffer will help to reduce noise or any other potential impacts on those properties to the south, one of which has Route 9 frontage.

	<u>Required</u>	<u>Existing</u>	<u>Proposed</u>
3. Drive way width	25'	N/A	24'

The drive aisle around the property will be 24 feet wide rather than 25 feet wide. The 1 foot reduction will not affect or impact site circulation or safety. Applicant’s professionals will provide further justification for this variance at the time of the hearing.

	<u>Required</u>	<u>Existing</u>	<u>Proposed</u>
4. Freestanding sign area	50 s.f.	74 s.f.	74 s.f.

Applicant is proposing 74 square feet of sign area for the freestanding sign on New Road. The larger sign is requested for visibility on Route 9 which accommodates traffic in both directions at 40 MPH. The sign size will provide an enhanced visual queue for motorists coming to the site to allow for earlier braking and safer ingress and egress. The sign area variance will also be the subject of testimony at the hearing by applicant’s professional consultants.

SITE PLAN CHECKLIST

The following checklist is designed to assist applicants in preparing site plans for Board review. Applicant should check off each item to ensure that it is included on the plan. **ITEMS OMITTED MAY DELAY CONSIDERATION BY THE BOARD.** Utility plans, landscaping plans, architectural elevations, etc., may be shown on separate sheets. (Return this list with your application)

- Name and title of applicant and owner, if other than applicant.
- Name and seal of person preparing plans, etc.
- Place for signature of Chairman and Secretary of Planning Board.
- Place for signature of City Engineer.
- Place for signature of County Engineer and Secretary of County Planning Board.
- Tax map lot and block numbers.
- Date, scale and "north" sign.
- Key map of the site with reference to surrounding areas and to existing street locations.
- Zone district in which property is located, and zone district of all properties within a 200-foot radius of the property line of the applicant's site, including properties in adjacent municipality, where applicable.
- All properties within 200 feet uses of said properties.
- Names of owners of all of above properties.
- Approximate number of employees who will be using the proposed site on a full-time basis shifts, if the operation is non-residential.
- Entire property in question, even though only a portion of said property is involved in the site plan; provided however, where it is physically impossible to show the entire property on the required sheet, a separate map at an appropriate scale may be submitted.
- Dimensions of lot, setbacks, front yard, side yards, and rear yard.
- Bearing and distances of property lines.
- Dimensions of existing and/or proposed principal building(s) and all accessory structures.
- Size and location of fences.
- All proposed parking and loading facilities, showing location and dimensions of individual parking spaces and loading areas, aisles, traffic patterns and driveways for ingress and egress, all drawn to scale.

- All existing and proposed curbs and sidewalks; and all proposed curb cuts.
- All driveways and streets within 200 feet of site.
- Rights-of-way, easements and all lands to be dedicated to the municipality or reserved for specific uses.
- Location of all signs and exterior lighting, accompanied by a brief narrative explanation of types of standards to be used, radius of light and intensity, etc., plus sketches to scale indicating design, color, material of things to be utilized.
- Water supply system.
- Existing and proposed sanitary sewerage disposal system.
- Draining Plans as approved by City Engineer.
- Solid waste disposal and storage. Method of treating manufacturing wastes and byproducts.
- N/A Location of all existing trees or tree masses, indicating general size and species.
- Landscaping and buffering plans, showing what will remain and what will be planted, and specifying types, size and location of trees and shrubs.
- N/A Significant existing physical features including streams, water courses, swampy soil, etc.
- Perspective drawing of all proposed structures as well as front and side elevations at a scale which clearly indicates the design objectives of the applicant. [The perspective drawings should clearly indicate the color, material and overall design of the proposed structure(s).]
- Existing and proposed spot elevations based on U.S. Coastal Geodetic datum at all building corners, all floor levels, center lines of abutting roads, top and bottom curbs, property corners, gutters and other pertinent locations.
- Existing and proposed contours of site at 2-foot intervals for areas less than 5 percent grade and 1-foot intervals above 5 percent grade.
- Any other pertinent information as may be required by the Board.



STORMWATER MANAGEMENT REPORT

FOR

BLOCK 75, LOT 33

CITY OF NORTHFIELD

ATLANTIC COUNTY, NJ

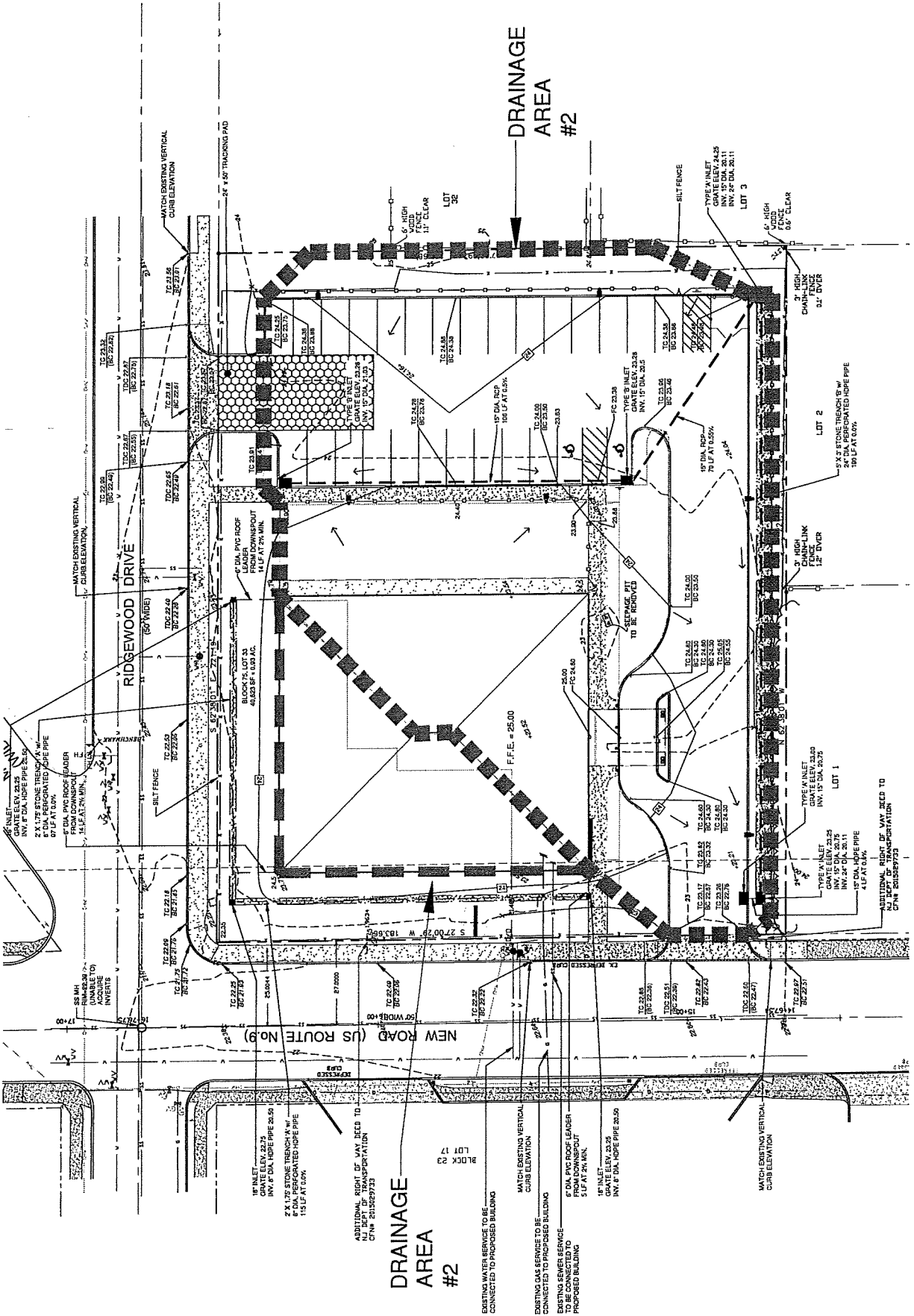
EDA #9113

A handwritten signature in black ink, appearing to read 'Vincent C. Orlando', is written over a horizontal line. The signature is fluid and cursive.

3.22.21

Vincent C. Orlando, P.E., P.P.

Date



DRAINAGE AREA #2

EXISTING WATER SERVICE TO BE CONNECTED TO PROPOSED BUILDING

EXISTING GAS SERVICE TO BE CONNECTED TO PROPOSED BUILDING

EXISTING SEWER SERVICE TO BE CONNECTED TO PROPOSED BUILDING

18" INLET, GRATE ELEV. 23.25, INV. 6" DIA. HOPE PIPE 20.50

2" X 1/2" STONE TRENCH 18" W, 15' L AT 0.5%.

ADDITIONAL RIGHT OF WAY BELD TO CITY OF CHICAGO FOR TRANSPORTATION

18" INLET, GRATE ELEV. 23.25, INV. 6" DIA. HOPE PIPE 20.50

18" INLET, GRATE ELEV. 23.25, INV. 6" DIA. HOPE PIPE 20.50

18" INLET, GRATE ELEV. 23.25, INV. 6" DIA. HOPE PIPE 20.50

18" INLET, GRATE ELEV. 23.25, INV. 6" DIA. HOPE PIPE 20.50

18" INLET, GRATE ELEV. 23.25, INV. 6" DIA. HOPE PIPE 20.50

18" INLET, GRATE ELEV. 23.25, INV. 6" DIA. HOPE PIPE 20.50

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18" INLET, GRATE ELEV. 23.25, INV. 6" DIA. HOPE PIPE 20.50

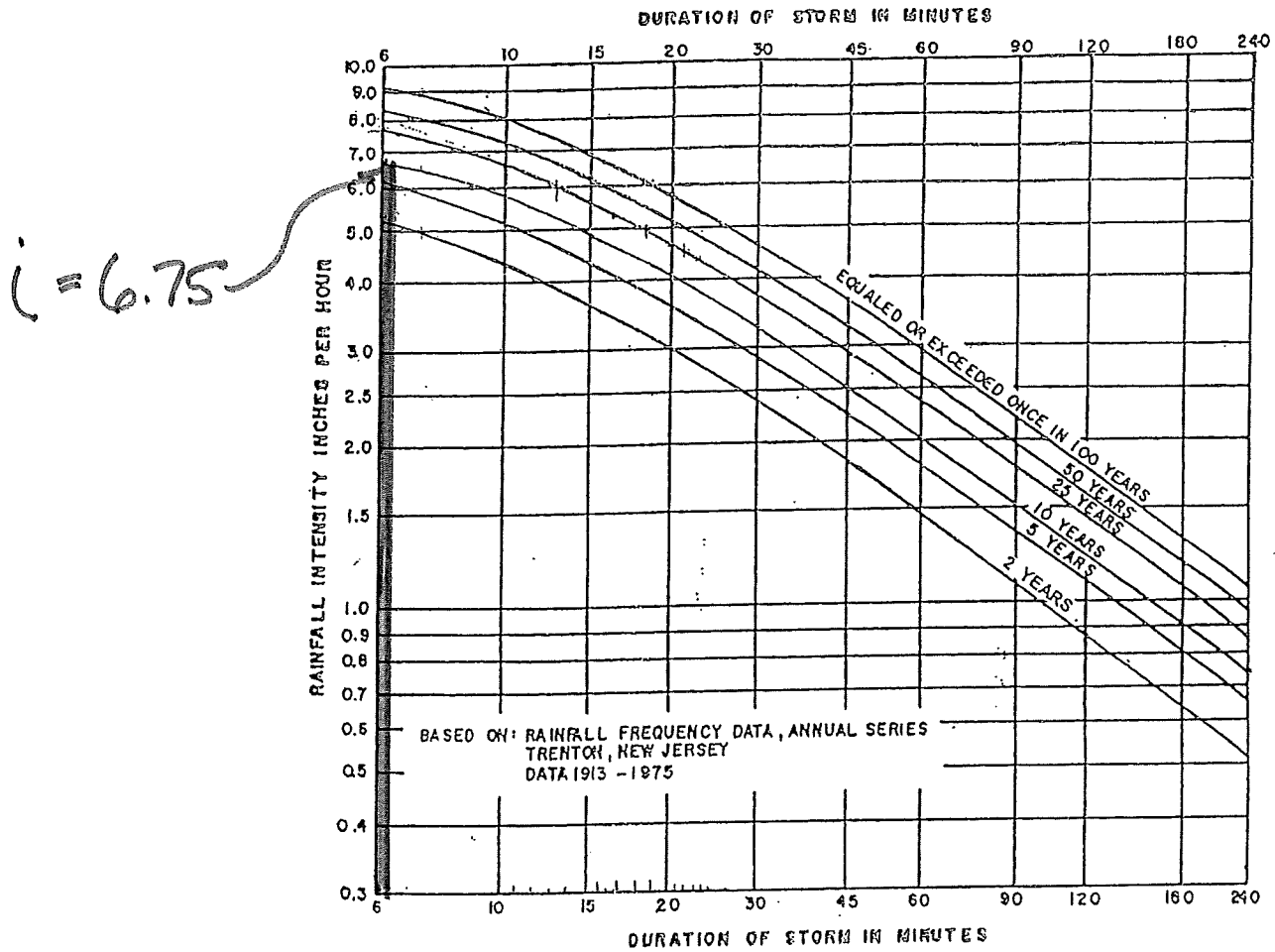
18" INLET, GRATE ELEV. 23.25, INV. 6" DIA. HOPE PIPE 20.50

18" INLET, GRATE ELEV. 23.25, INV. 6" DIA. HOPE PIPE 20.50

18" INLET, GRATE ELEV. 23.25, INV. 6" DIA. HOPE PIPE 20.50

DRAINAGE AREA MAP

FIGURE 7.2 RAINFALL INTENSITY CURVES



Note: Adapted from Figure 2.1-2 in the NJDEP Technical Manual for Stream Encroachment Permits.

$T_c = 6$ minutes (Assumed)

Stormwater Management Report

Children Academy Site Plan
Block 75, Lot 33
City of Northfield, Atlantic County, NJ
EDA #9113

The 0.93 acre property, located at 2500 New Road, contains a 3,756 SF multi-unit commercial building and asphalt parking lot. There is a seepage pit located in the parking lot. It is the intent of the applicant to demolish the existing building and construct a 8,900 SF daycare center. A parking lot will be constructed for 27 vehicles. The existing lot coverage is approximately 20,034 SF. The proposed lot coverage is 25,278 SF.

The City of Northfield, under Chapter 325 of the code, defines a major development as one that ultimately disturbs more than one acre of land or creates $\frac{1}{4}$ acre (10,890 SF) of impervious coverage. A major development is required to meet standards for stormwater runoff, quality and quantity set by the City. There is a 5,244 SF increase in impervious coverage. As there is less than 1 acre of disturbance, and less than $\frac{1}{4}$ acre of new impervious coverage, the development does not meet the requirements of a major development

Runoff generated by the development will be directed to two separate stormwater infiltration systems (see Drainage Area Map). A stormwater infiltration system has been designed to capture and store the runoff generated by a portion of the building. A second infiltration system has been designed to store the runoff generated by the remainder of the building, parking lot, and landscaped areas. The Rational Formula where $Q=ciA$ has been used to determine the runoff rates for the 25 year design storm.

Drainage Area 1

Runoff Calculation

$Q = ciA$ – Impervious surface
 $c = 0.9$ (impervious coverage)
 $i = 6.75$ in/hr (10 year storm)
 $A = 4,409$ SF building = 0.101 Ac.
 $= (0.9)(6.755 \text{ in/hr})(0.101 \text{ Ac.})$
 $= 0.61 \text{ CFS}$

Volume Calculation

$V = 0.5(Q) T_t$
 $Q = 0.61 \text{ CFS}$
 $T_t = 2.5(T_c)$ where (T_c) is 6 minutes
 $= 0.5(0.61 \text{ CFS})(15 \text{ min.})(60 \text{ sec./min})$
 $= 274.5 \text{ CF}$

Storage Calculation

2' x 1.75' Stone Trench w/8" Dia. Perforated Pipe (212 LF)	
8" Dia. Pipe x 212 LF	72.5 CF
[2' x 1.75' Trench (212 LF)-72.5 CF](0.4)	267.8 CF
Total	340 CF

Summary

The 10 year design storm generates approximately 275 CF of stormwater runoff from the front portion of the building. The infiltration system has been designed to store approximately 340 CF of runoff. If the volume of runoff exceeds the capacity of the system, runoff will bubble out an inlet at the southeast corner of the lot and enter the Route 9 right-of-way.

Drainage Area 2

Runoff Calculation

$Q = ciA$ – Impervious surface

$c = 0.9$ (impervious coverage)

$i = 6.75$ in/hr (10 year storm)

$A = 20,308$ SF sidewalk & parking area = 0.446 Ac.

$= (0.9)(6.75 \text{ in/hr})(0.446 \text{ Ac.})$

$= 0.2.83$ CFS

$Q = ciA$ – Pervious surface

$c = 0.4$ (pervious coverage)

$i = 6.75$ in/hr (10 year storm)

$A = 7,975$ SF landscaped area = 0.183 Ac.

$= (0.4)(6.75 \text{ in/hr})(0.183 \text{ Ac.})$

$= 0.49$ CFS

$Q_{\text{total}} = 3.32$ CFS

Volume Calculation

$V = 0.5(Q) T_t$

$Q = 3.32$ CFS

$T_t = 2.5(T_c)$ where (T_c) is 6 minutes

$= 0.5(3.32 \text{ CFS})(15 \text{ min.})(60 \text{ sec./min})$

$= 1,494$ CF

Storage Calculation

5' x 3' Stone Trench w/24" Dia. Perforated Pipe (190 LF)

24" Dia. Pipe x 190 LF

596.6 CF

[5' x 3' Trench (190 LF)-596.6 CF](0.4)

901.3 CF

Total

1,497.9 CF

Summary

The 10 year design storm generates approximately 1,494 CF of stormwater runoff from the rear of the building, parking lot and landscaped areas. The infiltration system has been designed to store approximately 1,497 CF of runoff. If the volume of runoff exceeds the capacity of the system, runoff will continue to flow towards the Route 9 right-of-way.



Pre-School and Pre-Kindergarten

Using multiple intelligence as a stepping stone, we take into account that children are gifted differently and as such, learn differently. We prepare children for higher learning and ultimately lifelong learning using topics and subjects that interest children. We introduce concepts using different mediums and learning styles so that your child will learn while having fun in a quality environment taught by quality professionals.

Whether your child is a visual, auditory, linguistic, kinesthetic, logical, intra or interpersonal learner, your child will acquire skills that will shape their educational future at Children Academy. Children are given the opportunity to learn at their own pace in a non hurried environment where the teacher is a facilitator. At the Academy, children are encouraged to develop critical and analytical thinking skills using developmentally appropriate practices as they acquire problem solving capabilities.

Sample Schedule

8:30am	Breakfast
9:00am	Circle Time I (Language Arts)
9:20am	Sign in and Free Play
9:30am	Hand Writing Without Tears
10:00am	Fitness, Music and Movement
10:20am	Circle Time II (Integrated Science)
10:40am	Free Play and Individual Journaling
11:00am	Arts and Sensory
11:30am	Math
12:00pm	Family Style Lunch
12:30pm	Quiet Time
2:30pm	Snack Time
2:45pm	Circle Time III (Social Studies)
3:10pm	Fitness, Music and Movement
4:40pm	Family Newsletter and Recall Time



Summer Programs

Explorer camp accepts children aged under 13 on a first come, first served basis. Weekly themed packages include all inclusive or optional activities like swimming, field trips, water play, in-house entertainment, talent shows, cooking, arts and crafts and sports. Book all weeks or as little as 5 weeks. Children visit places that encourage creativity, arts, culture and active play in our own yellow school bus while making life long friends.



Visit us in our secure state of the art facility and see how we make a difference everyday

Pricing

Days: _____
 Times: _____
 Monthly: _____
 Weekly: _____
 Daily: _____

Thank you for Visiting

Your Tour Guide:

Title:


 Child Care & Learning Center
 213 East Jimmie Leeds Road
 Galloway, NJ 08205
 609-404-4700
 www.childrenacademynj.com



Building America's future,
 one child at a time!





Your Partner for Early Academic Excellence

Our Mission:

Children Academy's vision is to create an ideal learning environment where we educate the "whole child" in a loving, stimulating and family oriented facility. We strive to provide families with the best learning care solution possible as we partner with families to meet their needs and those of their children. Our aim is to help families achieve their child's learning goals using developmentally appropriate practices and innovative teaching methods.

Our Values

Honesty Integrity Trust
Excellence Love
Passion



Learning is fun again!

A day at the Academy is filled with laughter and fun and will include an opportunity to be introduced to quality literature, music, science, math, social studies and writing as well as music, movement, art, manners and most importantly, play. We guide the learning process of the "whole" child as they explore their complex world.



We lay infants to sleep on their backs to prevent SIDS unless a sleeping wedge is provided



Infant Program

We accept infants at six weeks old in our colorful and nurturing nursery. Infants are cared for by discerning and loving adults in a stimulating environment that provides avenues for safe exploration for your curious tots. Teachers are certified in first aid and CPR and chosen carefully to meet the needs of your baby.

Babies are cared for on a flexible schedule chosen by their parents

A day in the infant room involves fun and stimulating activities that encourage small and large muscle activities, physical, cognitive, social, sensory, emotional and language development. Babies are engaged and encouraged to explore their world in a safe and nurturing environment so that they build confidence and self esteem. Babies enjoy the outdoors and strolls in their buggy when the weather is nice.

Daily and frequent one on one time centered around your child ensure that children form a healthy bond with their loving care givers. Separation of mobile and non-mobile babies in our infant room ensures safety and everyone's needs are



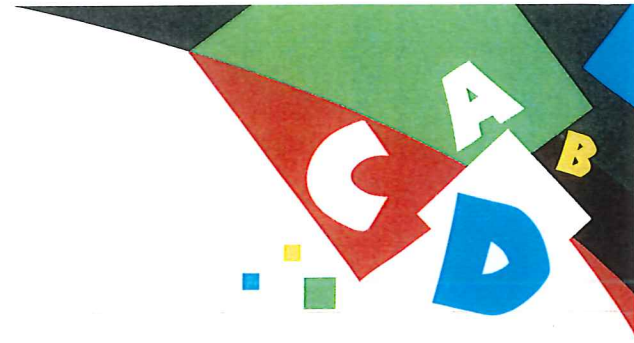
Young Learners Toddlers, Twaddlers and Preppers

Our preschool readiness program is designed to help children acquire basic skills and a love of learning that lasts a lifetime. Children are engaged in cognitive activities that help them build language and problem solving skills as they learn and share in a quality environment through social interactions and thematic schemes.

Sample Schedule

8:30am	Breakfast
9:00am	Circle Time I (Cognitive)
9:30am	Fitness, Music and Movement
10:00am	Free Play
10:15am	Math Magic
10:45am	Arts and Daily Sensory
11:00am	Circle Time II (Science)
11:30pm	Writing, Alphabets and Phonics
12:00pm	Family Style Lunch
12:30pm	Quiet Time
2:30pm	Snack Time
3:00pm	Fitness, Music and Movement
3:30pm	Circle Time III (Social Studies)
4:00pm	Recall and Story Time
4:30pm	Free Play

Toilet training assistance is provided



March 18, 2021

CHILDREN ACADEMY NORTHFIELD

DESCRIPTION AND ELEVATOR PITCH:

Learning Advantage Academy, LLC. Will conduct business under the DBA Children Academy Childcare and Learning Centers. Its business entity which is to be established and operated by Elizabeth Palmer and Olufemi Palmer. LAA plans to market itself as a premium chain brand in Atlantic County market for Childcare and Learning Centers. The goal is for this entity to operate as a premium childcare center to be licensed by the Department of Children and Family State of New Jersey to serve children aged six weeks – 12 years in 10 self-contained classrooms with a licensing capacity of 153.

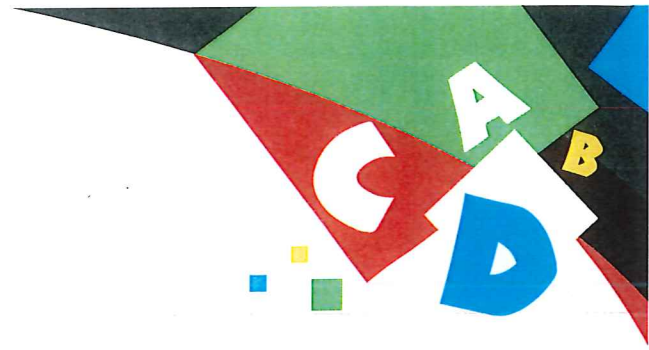
The center plans to employ approximately 17 staff members in Northfield. The entity will be housed at Northfield: 234 Ridgewood Avenue AKA 2500 New Road Northfield, NJ 08225 (Currently in negotiations to acquire property).

STRUCTURE:

Learning Advantage Academy, LLC will be registered the State of New Jersey as a Limited Liability Company while utilizing the DBA to capture and take advantage of the good will and name brand of the Children Academy Childcare and Learning Centers which already has been built by Learning Edge Academy which is recognized all over Atlantic County as the premium provider of early childhood education in the county. Learning Advantage Academy is projected to open in June of 2022.

EDUCATION:

Children Academy provides a great educational service that will give the children in the community an edge when they enter public school. We utilize the award-winning Creative Curriculum and Teaching Strategies which aligns directly with the Northfield School District. We also have additional classrooms which will be beneficial to accommodating the current overspill for the Preschool Expansion Program. We are able to provide Infant, Toddler, Preschool, Pre-Kindergarten, Before and After Care Programs and Summer Camp Programs. Our Programs require our Teachers to be credentialed and provide the highest level of education and service to the families we serve. We also provide Parent Education Services and offer many services free to families in the area in addition to our paid services.



EDUCATION:

Our new state of the art facility has been designed to harness the latest groundbreaking technology, safety features a healthcare features adaptable to respond to any changes for instance, our building standards was well thought out and designed to hospital standards of safety that have kept children safe during the COVID-19 pandemic. Our touch free security and health and safety features have been instrumental to keep children safe. From our automatic UV Germicidal Sterilizing light technology to our negative return air UV HVAC system, we were already aligned to adapt at the highest level to a pandemic situation. Foresight like this puts us ahead and keep our staff and children safe.

NORTHFIELD PLAZA:

The renovation project at Northfield Plaza is an opportunity to revive this aging plaza with a great building that will provide great curb appeal and contribute to the Business District in Northfield. With expansion of this plaza to a larger building, the Academy will be able to provide more employment than all the businesses currently occupying the plaza to make a positive economic impact in Northfield. As a bona-fide taxpayer, the Academy plan to be involved in community projects and organize community events and provide family themed events for families. Having personally interviewed several families in the area, young families are extremely excited and enthusiastic for our arrival in the community.

HOURS OF OPERATION:

Learning Advantage Academy will open at 6:30am and close at 6:30pm each day from Monday to Friday to serve working families. The idea is to provide a quick drive through drop off to ease the stress of commute for families. This will take place in the portico structure that is built into the front of the building on the south side of the property. A children Academy staff member will be available at the door to assist families with the drop off routine. The drop off routine will be expedited by our telephone application that will enable parents to check in their child electronically and provide instructions for the day. Pick up can also happen in this area. Upon electronic request, a Children Academy Staff member will be at the door with the child for pick up. Estimation of pick-up time is 2 minutes, and our operation system has been designed, tried, and tested to complete process in that time frame to prevent traffic back up.

For efficiency of the system, we have so designed our portico with curb cuts and signage to deter a left turn from the Route 9 entrance to enter the portico. Parents who plan to utilize the portico service must enter the facility from the Ridge Avenue entrance and exit on New Road to keep traffic moving. Parents who enter from New Road must park their car in the parking spaces provided and walk their child into the building. From current operations, only about 20-25% of parents will utilize the portico service. We have ample space above and beyond minimum requirement to ensure that we have adequate parking. Premium parking spaces will be marked and designated as drop off zone (15 minute) parking to make things easy for the families.



Typically, the center occupies the building at 80-85% daily which brings expected daily attendance to 120 children and 12 staff members. Many children are siblings and related so approximately 80 separate families are expected each day.

Arrival is typically in the following order:

- 6:30am -7:00am – 20% (Approximately 16 cars)
- 7:00am – 8:00am – 25% (Approximately 20 cars)
- 8:00am – 9:00am - 40% (Approximately 32 cars)
- 9:00am – 10:00am – 10% (Approximately 8 cars)
- 10:00am – 11:00am – 5% (Approximately 4 cars)

Parking lot traffic at peak hours (8:00am – 9:00am and 4:00am and 4:00pm – 6:00pm) is usually 5 cars every 15 minutes with families who are utilizing self-parking staying approximately 5 minutes and those who utilize full-service portico.

Departure is typically in the following order:

- 2:00pm – 3:00pm – 10% (Approximately 8 cars)
- 3:00pm – 4:00pm – 15% (Approximately 12cars)
- 4:00pm – 5:00pm – 30% (Approximately 24 cars)
- 5:00pm – 6:00pm – 40% (Approximately 32 cars)
- 6:00pm – 6:30pm – 5% (Approximately 4 cars)

The average maximum number of cars in any given 5-minute time frame if 5 with. Each Children Academy staff also works a maximum of 8hrs per day so that daily attendance of teachers is also staggered to accommodate the number of children in the center any given time. It is estimated at any given time, the maximum usage of parking spaces will be at 55% of available spaces at peak parking hours.

IMPACT TO NEIGHBORS:

Our building plan has been so designed to be in line with existing businesses on the New Road axis. By maintaining the current setbacks, we blend in and stay in line with all the existing structures already on Route 9 and which will also create the least impact to our new neighbors. We have created landscaping and curb appeal that adds value rather take away value to residential and commercial building who will become our neighbors. We have provided fencing and shrubbery to provide a great buffer that is easy on the eyes while giving them ultimate privacy while also providing security for the children in our school.



COMMUNITY INVOLVEMENT:

Children Academy will be well integrated into the Northfield community with plans to facilitate several community events and have impact with a wide range of Northfield families. Our operations have been received with fervor and accolades in Galloway and Brick New Jersey and we have built goodwill in the communities we do business in. Children Academy will fill a large gap in where there is a void for the level of services we provide in Northfield. Families will no longer need to drive down to Egg Harbor, Linwood or Somers Point in order to access a decent childcare facility. Families will have the opportunity to shop local and be employed locally at Children Academy.

We are extremely excited to be coming to the community and look forward to building relationships and services in the Northfield area. We hope to be a great contribution to what Northfield has to offer. We hope that our application is viewed favorably by the board.

Signed,

Elizabeth Palmer
Owner and Operator

And

Olufemi Palmer
Owner and Operator

CHRISTOPHER M. BAYLINSON, ESQUIRE
PERSKIE MAIRONE BROG BARRERA & BAYLINSON, P.C.
Cornerstone Commerce Center
1201 New Road, Suite 204
Linwood, NJ 08221
(609) 601-1775

Attorneys for Applicant

IN THE MATTER OF THE APPLICATION) NORTHFIELD PLANNING BOARD
OF: LEARNING EDGE ACADEMY INC.) DISCLOSURE CERTIFICATION
D/B/A CHILDREN ACADEMY) PURSUANT TO N.J.S.A. 40:55D-48.1
Concerning Block 75, Lot 33)

Elizabeth Palmer hereby certifies the following factual information:

1. I am the authorized member of Learning Edge Academy Inc. d/b/a Children Academy, which is the applicant in the above-entitled matter.
2. Learning Edge Academy Inc. d/b/a Children Academy is the contract purchaser of the above-captioned property.
3. The names and addresses of all those persons owning a 10% or greater interest in and to Learning Edge Academy Inc. d/b/a Children Academy are as follows:

Elizabeth Palmer
Femi Palmer
213 East Jimmie Leeds Road
Galloway, NJ 08205

There are no other persons or entities holding a 10% or greater interest in Learning Edge Academy Inc. d/b/a Children Academy.

I certify that the foregoing statements made by me are true. I am aware that if any of the foregoing statements made by me are willfully false, I am subject to punishment.



Elizabeth Palmer

DATED: March ef 2021

Agreement of Sale

234 Ridgewood Avenue, Northfield, NJ (Block 75, Lot 33)

This Agreement of Sale ("Agreement") is made between: Northfield Plaza, LLC ("Seller") and Learning Edge Academy Inc. ("Buyer"), as follows:

1. SALE AND PURCHASE OF PROPERTY.

Pursuant to the terms and conditions of this Agreement, Seller agrees to sell and convey to the Buyer, and Buyer agrees to purchase and accept from Seller, all of Seller's right, title and interest in and to that certain real estate and improvements known and designated as follows:

- 234 Ridgewood Avenue (also known as 2500 New Road), Northfield, NJ 08225, designated on the Tax Map as Block 75, Lot 33 (the "Property").

2. PURCHASE PRICE.

2.1 In total consideration for the Property, Buyer shall pay to Seller, and Seller shall accept from Buyer, the "Purchase Price", consisting of [REDACTED], which shall be payable in the following manner:

2.1A Upon receipt of fully executed Agreement, the sum of [REDACTED] shall be paid by Buyer as a Deposit and shall be deposited in an interest bearing escrow account no later than two (2) business days following the execution of this Agreement, at Agents Title LLC, with an address at 1630 New Road, Northfield, NJ 08225 (contact representative: Laura Anne Widecrantz at 609-840-4185) (the "Escrow Agent").

2.1B The term "Deposit" whenever used herein shall mean and include all funds then held on deposit by the Escrow Agent. The balance of the Purchase Price, after having taken into account the Deposit paid prior to Closing, shall be paid by wire transfer at Closing.

3. FINANCE CONTINGENCY.

3.1 Within the original Approval Period (not including Extended Approval Period if Extension is exercised by the Buyer) (defined below), Buyer shall apply for and obtain financing for the Project (defined below) through traditional construction financing sources.

3.2 If, at the end of the original Approval Period, Buyer has applied for and diligently pursued financing for the Project but has not obtained such financing in a manner acceptable to Buyer, then, in Buyer's sole discretion, Buyer shall have the right to: (a) terminate the Agreement, in which event the Deposit shall be returned to the Buyer, with interest, if any, this Agreement shall be null and void and neither Seller nor Buyer shall have any further liability or obligation to the other; or (b) waive the financing contingency, in which event Buyer's obligation to close shall not be contingent on any financing.

4. CLOSING PLACE, DATE AND TIME.

Closing of title ("Closing") shall take place during normal business hours at the office of the Escrow Agent. The date for Closing shall occur fifteen (15) days after expiration of the Approval Period (or extended Approval Period if the Extension is exercised by the Buyer), or sooner at the election of Buyer

19. NEW JERSEY BULK SALE NOTIFICATION.

19.1 The New Jersey Bulk Sales Law, N.J.S.A. 54:50-38, (the "Bulk Sale Law") applies to the sale of certain real estate. Under the Bulk Sale Law, Buyer may be liable for taxes owed by Seller if the Bulk Sale Law applies and Buyer does not deliver to the Director of the New Jersey Division of Taxation (the "Division") a copy of this Agreement and a Notification of Sale, Transfer, or Assignment in Bulk (Division Form C-9600) (the "Tax Form") at least ten (10) business days prior to the Closing. If Buyer decides to deliver the Tax Form to the Division, Seller shall cooperate with Buyer by promptly providing Buyer with any information that Buyer needs to complete and deliver the Tax Form in a timely manner. Buyer promptly shall deliver to Seller a copy of any notice that Buyer receives from the Division in response to the Tax Form.

19.2 If, prior to the Closing, the Division notifies Buyer to withhold an amount (the "Tax Amount") from the Purchase Price proceeds (or possible unpaid tax liabilities of Seller), Buyer's attorney or the Escrow Agent shall withhold the Tax Amount from the proceeds and place that amount in escrow (the "Tax Escrow"). If the Tax Amount exceeds the amount of available closing proceeds, Seller shall bring the deficiency to the Closing and the deficiency shall be added to the Tax Escrow. If the Division directs the Escrow Agent or Buyer to remit funds from the Tax Escrow to the Division or some other entity, the Escrow Agent or Buyer shall do so. The Escrow Agent or Buyer shall only release the Tax Escrow, or the remaining balance thereof, to Seller (or as otherwise directed by the Division) upon receipt of written notice from the Division that it can be released, and that no liability will be asserted under the Bulk Sale Law against Buyer.

The parties, intending to be legally bound by the above terms and conditions of this Agreement, hereby execute this Agreement:

SELLER:

Northfield Plaza, LLC

By: Jeanette Gienza
Name: Jeanette Gienza
Title: Member

Dated: Dec 28, 2020

BUYER:

Learning Edge Academy Inc.

By: E. Palmer
Elizabeth Palmer, Member

Dated: December 23, 2020

By: Femi Palmer
Femi Palmer, Member

Dated: December 23, 2020



City of Northfield Planning Board

1600 SHORE ROAD NORTHFIELD, NEW JERSEY 08225
(609) 641-2832, EXT. 127 FAX (609) 646-7175 ratlas@cityofnorthfield.org

May 19, 2021

UPDATED 200 FT. LIST

Block 75 Lot 33
234 Ridgewood Drive
Learning Edge Academy Inc.

New Owner of record:
Block 75 Lot 2
Hull, Gregory W.
3 Madison Avenue
Northfield, NJ 08225

Robin Atlas, Planning Board Secretary



City of Northfield

TAX ASSESSOR'S OFFICE

1600 SHORE ROAD, NORTHFIELD, NEW JERSEY 08225

May 19, 2021

Perskie Mairone Brog Barrera & Baylinson
Attn.: Christopher M. Baylinson, Esq.
Cornerstone Commerce Center
1201 New Road
Suite 204
Linwood, NJ 08221

**RE: Block 75 Lot 33
234 Ridgewood Drive**

Dear Mr. Baylinson,

The following is a list of properties located within 200 feet of the above-mentioned intersection, as it appears on the Northfield Tax map. It is specifically understood that all applications for variances must comply with all existing statutes including the necessary notices to public bodies when applicant and law deems applicable.

Atlantic City Electric
Real Estate & Right of Way Department
5100 Harding Highway, 63ML22
Mays Landing, NJ 08330

South Jersey Gas Co.
1 So. Jersey Plaza
Folsom, NJ 08037

Page 2

Verizon
9 Gates Avenue
Montclair, NJ 07042-3301

Comcast Cable
901 Leeds Ave.
Absecon, NJ 08201

New Jersey American Water Company, Inc.
1 Water Street
Camden, NJ 08102

Northfield Sewer Department
1600 Shore Road
Northfield, NJ 08225

Municipal Road
City of Northfield
Mary Canesi, City Clerk
1600 Shore Road
Northfield, NJ 08225

**Glen Cove Avenue
Merritt Drive
Ridgewood Drive**

Department of Regional Planning &
Economic Development
Rt. 9 and Dolphin Ave.
Northfield, NJ 08225

**No County Roads
within 200 ft**

New Jersey Department of Transportation
1035 Parkway Avenue
Trenton, NJ 08625

New Road (Route 9)

Sincerely,



Mark Sykes, Tax Assessor

Mark Sykes, Tax Assessor
City of Northfield

PROPERTY ID	PROPERTY LOCATION	CLASS	OWNERS NAME & ADDRESS	
23 11	2405 NEW RD	4A	ELPIDA PROPERTIES, LLC 4 NORTH DELSEA DR STE D CLAYTON, NJ	08312
23 16	2403 NEW RD #701	4A	MBMW DAVIDSON, & WAWA INC 260 W. BALTIMORE PIKE WAWA PA	19063
23 17	2401 NEW RD	4A	BRONSON OIL FEE HOLDINGS LLC 1800 CHAPEL AVE WEST #160 CHERRY HILL, NJ	08002
27 21	2327 NEW RD	4A	MECKEL ENTERPRISES, L.L.C. 1830 GALLAGHER DR.SU 101 VINELAND NJ	08360
74 1	2406 NEW RD	4A	SHAZAD LIAQAT 2406 NEW ROAD NORTHFIELD NJ	08225
74 5	333 W REVERE RD L6&7	2	PIERETH, DAVID 333 W REVERE RD NORTHFIELD, NJ	08225
74 8	325 W REVERE AVE L9&10	2	CALZADA, KRISTEN M 325 W REVERE AVE NORTHFIELD, NJ	08225
74 48	224 W GLENCOVE AVE	2	GANEVA, NINA 224 W GLENCOVE AVE NORTHFIELD, NJ	08225
74 49	226 W GLENCOVE AVE	2	FEHRENBACH, REINHOLD K 20 MT VERNON AVE NORTHFIELD NJ	08225
74 50	228 W GLENCOVE AVE	2	RAND, CHRISTOPHER L & BONNIE P 228 W GLENCOVE AVE NORTHFIELD, NJ	08225
74 51	230 GLENCOVE AVE	4A	AVALANCHE PROPERTIES, LLC 19 GEORGETOWN COURT LINWOOD NJ	08221
75 1	231 W GLENCOVE AVENUE	4A	GLENCOVE AVE LLC 1800 NEW ROAD #201 NORTHFIELD, NJ	08225
75 2	229 W GLENCOVE AVE	2	VALENZA, MICHAEL 2535 DAMIAN DRIVE HATBORO PA	19040
75 3	227 W GLENCOVE AVE	2	CAMPBELL, BRYANT & CHRISTIN 227 W GLENCOVE AVE NORTHFIELD, NJ	08225

New Owner

*Hull, Gregory W
 3 Madison Avenue
 Northfield NJ, 08225*

PROPERTY ID	PROPERTY LOCATION	CLASS	OWNERS NAME & ADDRESS
75. 4	225 W GLENCOVE AVE.	2	BOWEN, DONALD R & GOLDSTEIN, DIANA 225 W GLENCOVE AVE NORTHFIELD NJ 08225
75 5	223 W GLENCOVE AVE	2	GERRI, ROSEANN T 223 W GLENCOVE AVE NORTHFIELD NJ 08225
75. 29	224 RIDGEWOOD DR.	2	MOSKOVITZ, MITCHELL S. & VICKI L. 224 RIDGEWOOD NORTHFIELD NJ 08225
75 30	226 RIDGEWOOD DR	2	ROSADO, JOHN & CHRISTINE 226 RIDGEWOOD DRIVE NORTHFIELD, NJ 08225
75 31	228 RIDGEWOOD DR	2	LATELLI, RONALD P JR. 228 RIDGEWOOD DR NORTHEIELD NJ 08225
75 32	230 RIDGEWOOD DR	2	MAZZONE, MATHEW & STEPHANY VACA 230 RIDGEWOOD DR NORTHFIELD, NJ 08225
81 1	231 RIDGEWOOD DR L2	2	LIND, KATHLEEN 231 W RIDGEWOOD DR NORTHFIELD, NJ 08225
81 3	227 RIDGEWOOD DR	2	CONNELLY, PATRICIA 1553 LEISURE WORLD MESA, AZ 85206
81 4	225 RIDGEWOOD DR	2	MCLAUGHLIN, KYLE & OLIVEIRA, CAITLI 613 JOSIE CT WILLIAMSTOWN, NJ 08094
81 5	223 RIDGEWOOD DR	2	MCCORD, GERALD & JOAN F 223 RIDGEWOOD DR NORTHFIELD NJ 08225
81 18.04	2330 MERRITT DR.	2	LENNOX, JOHN A & LORRAINE L 2330 MERRITT DRIVE NORTHFIELD NJ 08225
82 1 C0001	2330 NEW RD UNIT C1	4A	MOSA REAL ESTATE, LLC 507 CLERMONT AVE MARGATE NJ 08402
82 1 C0002	2330 NEW RD UNIT C2	4A	MOSA REAL ESTATE, LLC 507 CLERMONT AVE MARGATE NJ 08402
82 1 C0003	2330 NEW RD UNIT C3	4A	MOSA REAL ESTATE, LLC 507 CLERMONT AVE MARGATE NJ 08402

PROPERTY ID	PROPERTY LOCATION	CLASS	OWNERS NAME & ADDRESS	
82 1 C0004	2330 NEW RD UNIT C	4A	MOSA REAL ESTATE, LLC 507 CLERMONT AVE. MARGATE NJ	08402
82 1 C0005	2330 NEW RD UNIT C	4A	MOSA REAL ESTATE, LLC 507 CLERMONT AVE MARGATE NJ	08402
82 2	2326 NEW RD	4A	JAM 2326, LLC 2326 NEW ROAD NORTHFIELD, NJ	08225
82 3	2331 MERRITT DR	2	ROSS, ROBERT 2331 MERRITT DR NORTHFIELD, NJ	08225
82 4	2322 NEW RD	4A	GIRO ENTERPRISES INC 1555 ZION RD. STE 204 NORTHFIELD, NJ	08225
82 6	2329 MERRITT DR	2	LICHTENSTEIN, MATHEW 2329 MERRITT DR NORTHFIELD, NJ	08225

*TAX COLLECTORS OFFICE
1600 Shore Road
Northfield, NJ 08255
Phone# 609-641-2832 ext. 126 Fax# 609-646-7175*

Certification of Taxes & Sewer Paid

TO: Chris Baylinson, Esq.
Perskie, Mairone, Brog & Baylinson

RE: Planning Board Application-Learning Edge Academy, Inc.

From: Michele Kirtsos, Tax Collector

DATE: May 10, 2021

RE: Certificate of taxes and sewer paid

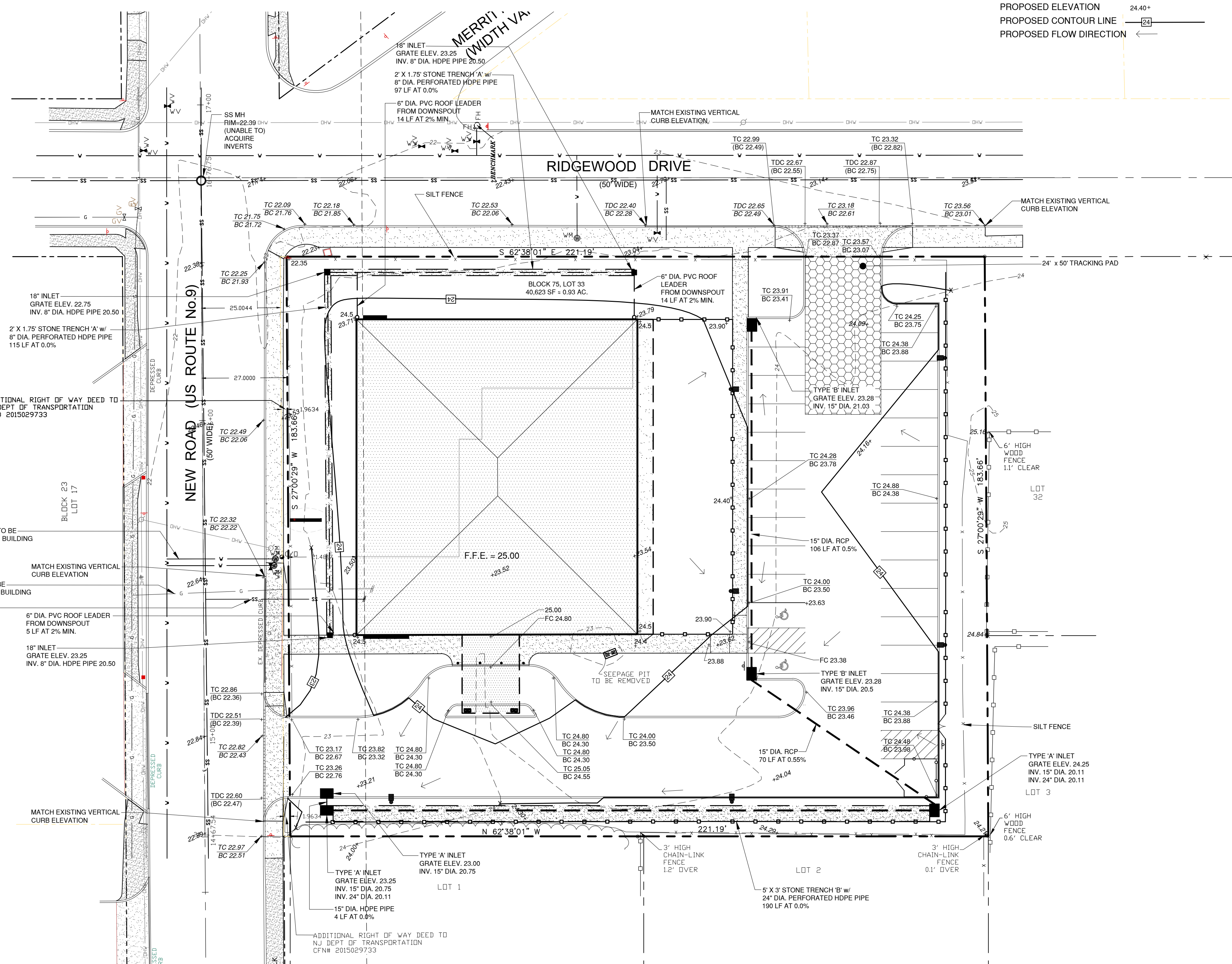
BLOCK/LOT(S): Block 75 Lot 33

PROPERTY LOCATION: 234 Ridgewood Drive

PROPERTY OWNER OF RECORD: Northfield Plaza

This is to verify that this property located in Northfield has paid taxes to August 1, 2021. Sewer is paid current to September 1, 2021.

UPDATED CERTIFICATION



LEGEND
 EXISTING ELEVATION 24.09+
 EXISTING CONTOUR LINE - - - - - 24
 PROPOSED ELEVATION 24.40+
 PROPOSED CONTOUR LINE ———— 24
 PROPOSED FLOW DIRECTION ←

EDA Engineering Design Associates, P.A.
 Environmental Planners Landscape Architects
 CAMBRIDGE PROFESSIONAL OFFICES
 5 Cambridge Drive Ocean View New Jersey 08230
 (609) 390-0332 • Fax (609) 390-9204
 CERTIFICATE OF AUTHORITY #210208-ES02070260

GRADING & DRAINAGE PLAN
 BLOCK 75, LOT 33
 CITY OF NORTHFIELD
 ATLANTIC COUNTY, NEW JERSEY

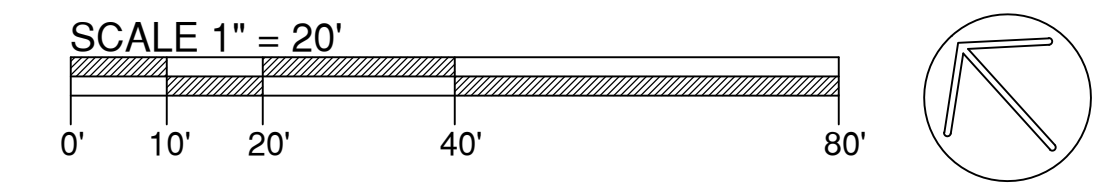
VINCENT C. ORLANDO
 PROFESSIONAL ENGINEER
 N.J.P.E. LIC. #32498

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Rev. per Applicant	3/22/21	MJH
REVISION	DATE	BY



DATE: 3/1/21	DRAWN BY: MJH
SCALE: 1" = 20'	CHECKED BY: VCO
PROJECT #: 9113	SHEET: 3 OF 8

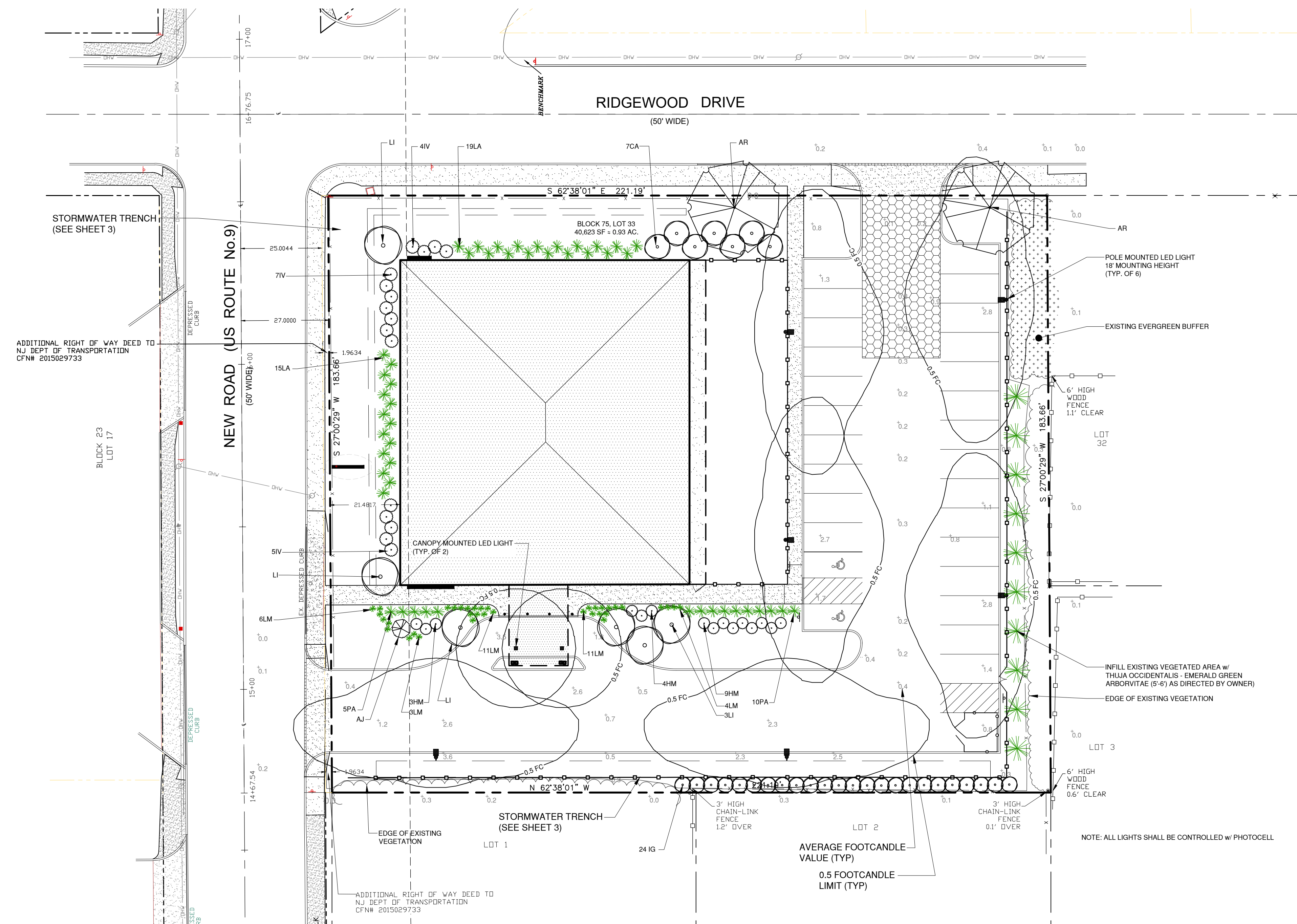


GRADING & DRAINAGE PLAN

SOIL EROSION & SEDIMENT CONTROL PLAN

Plant Schedule

Abbr	Botanical Name	Common Name	Quan.	Size	Comments
AJ	Acer palmatum dissectum	Red Laceleaf Maple	1	4'-5'	B&B
AR	Acer rubrum "October Glory"	October Glory Red Maple	2	2.5"-3" Cal.	B&B
CA	Cornus alba	Red Twig Dogwood	7	3'-4'	B&B
HM	Hydrangea macrophylla "Pink Beauty"	Pink Beauty Bigleaf Hydrangea	15	#5	Can
IG	Juniperus chinensis "Hetzi Columnaris"	Hetzi Columnar Juniper	24	#5	Can
IV	Itea virginica	Virginia Sweetspire	16	#5	Can
JV	Chamaecyparis obtusa	Hinoki Cypress	9	5'-6'	B&B
LA	Leucothoe axillaris	Coast Leucothoe	34	#3	Can
LI	Lagerstroemia indica	Crapemyrtle	6	6'-8'	B&B
LM	Liriope muscari	Lily Turf	34	#2	Can
PA	Pennisetum alopecuroides	Fountain Grass	15	#3	Can
VD	Viburnum dentatum	Arrowwood Viburnum	10	3'-4'	B&B



EDA
 Engineering Design Associates, P.A.
 Environmental Planners Landscape Architects
 CAMBRIDGE PROFESSIONAL OFFICES
 5 Cambridge Drive Ocean View New Jersey 08230
 (609) 390-0332 • Fax (609) 390-9204
 CERTIFICATE OF AUTHORITY #2102018-000000000

LANDSCAPE & LIGHTING PLAN
 BLOCK 75, LOT 33
 CITY OF NORTHFIELD
 ATLANTIC COUNTY, NEW JERSEY

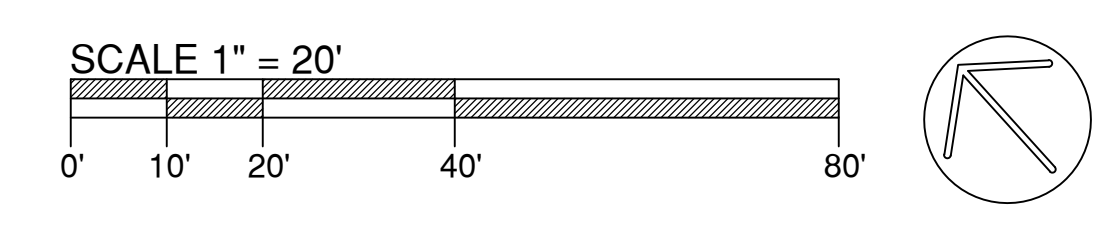
VINCENT C. ORLANDO
 PROFESSIONAL ENGINEER
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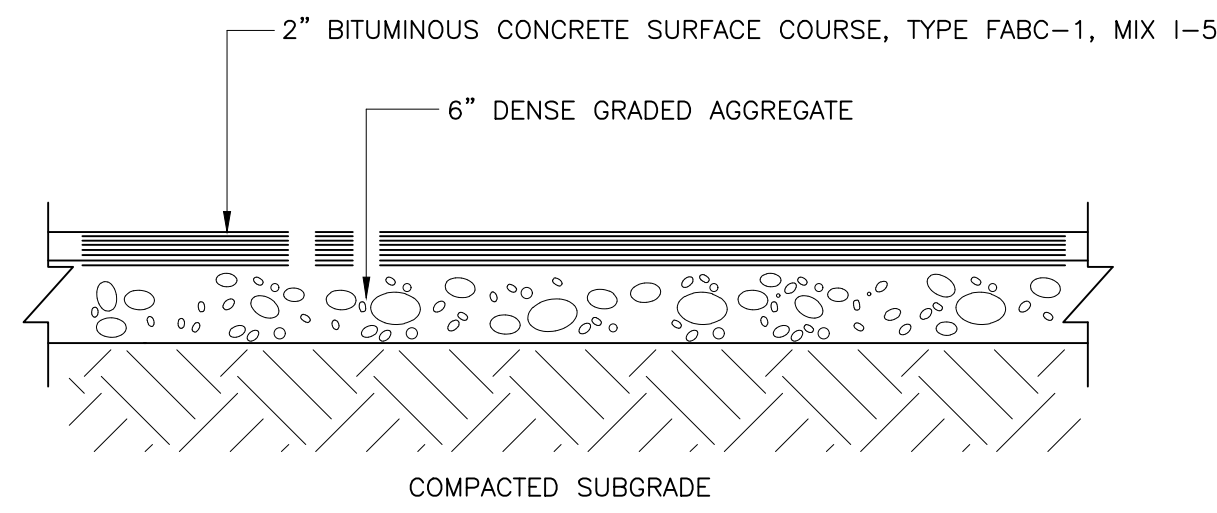
Rev. per Applicant	3/22/21	MJH
REVISION	DATE	BY



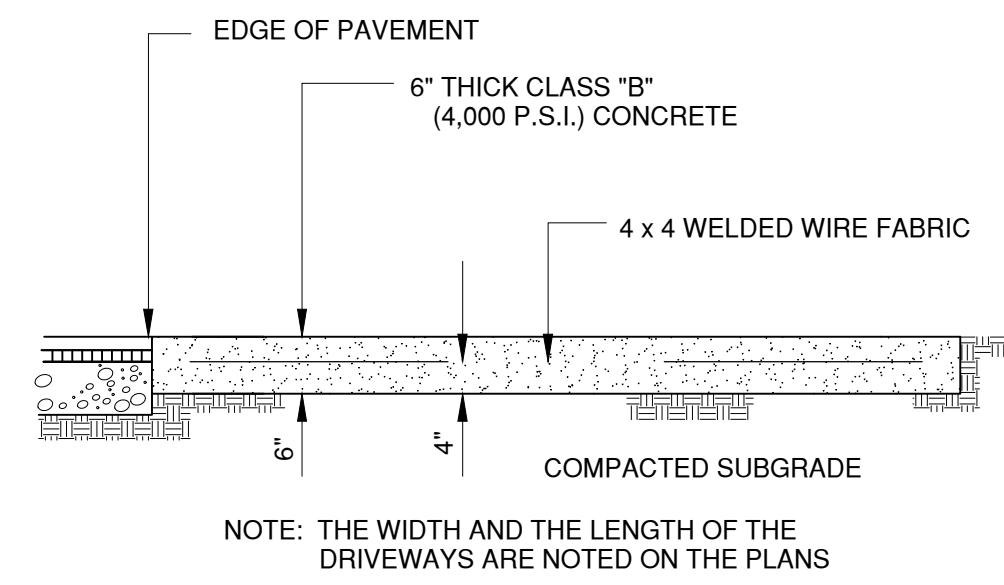
DATE: 3/1/21	DRAWN BY: MJH
SCALE: 1" = 20'	CHECKED BY: VCO
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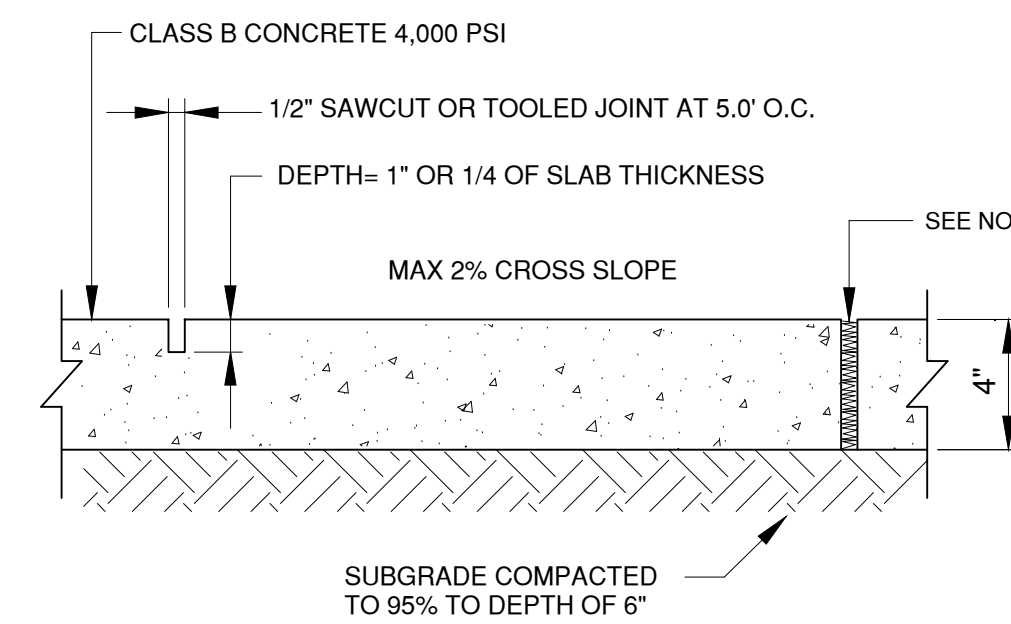
LANDSCAPE & LIGHTING PLAN



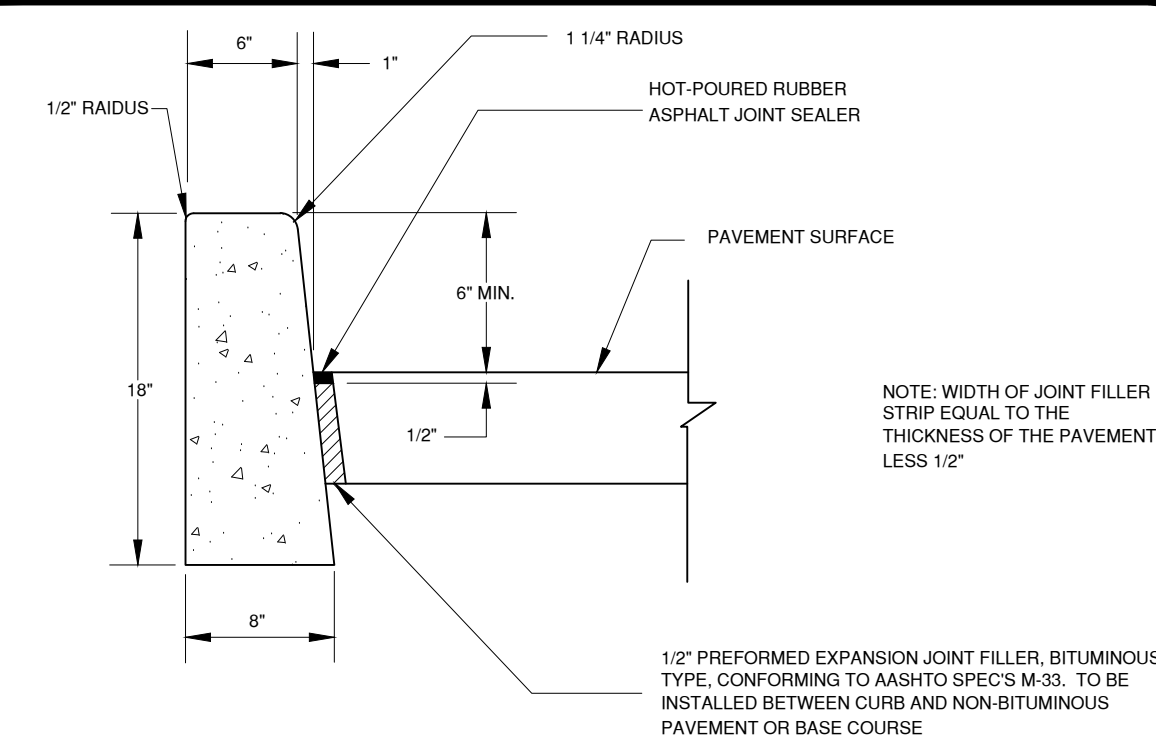
ASPHALT PAVEMENT DETAIL NTS



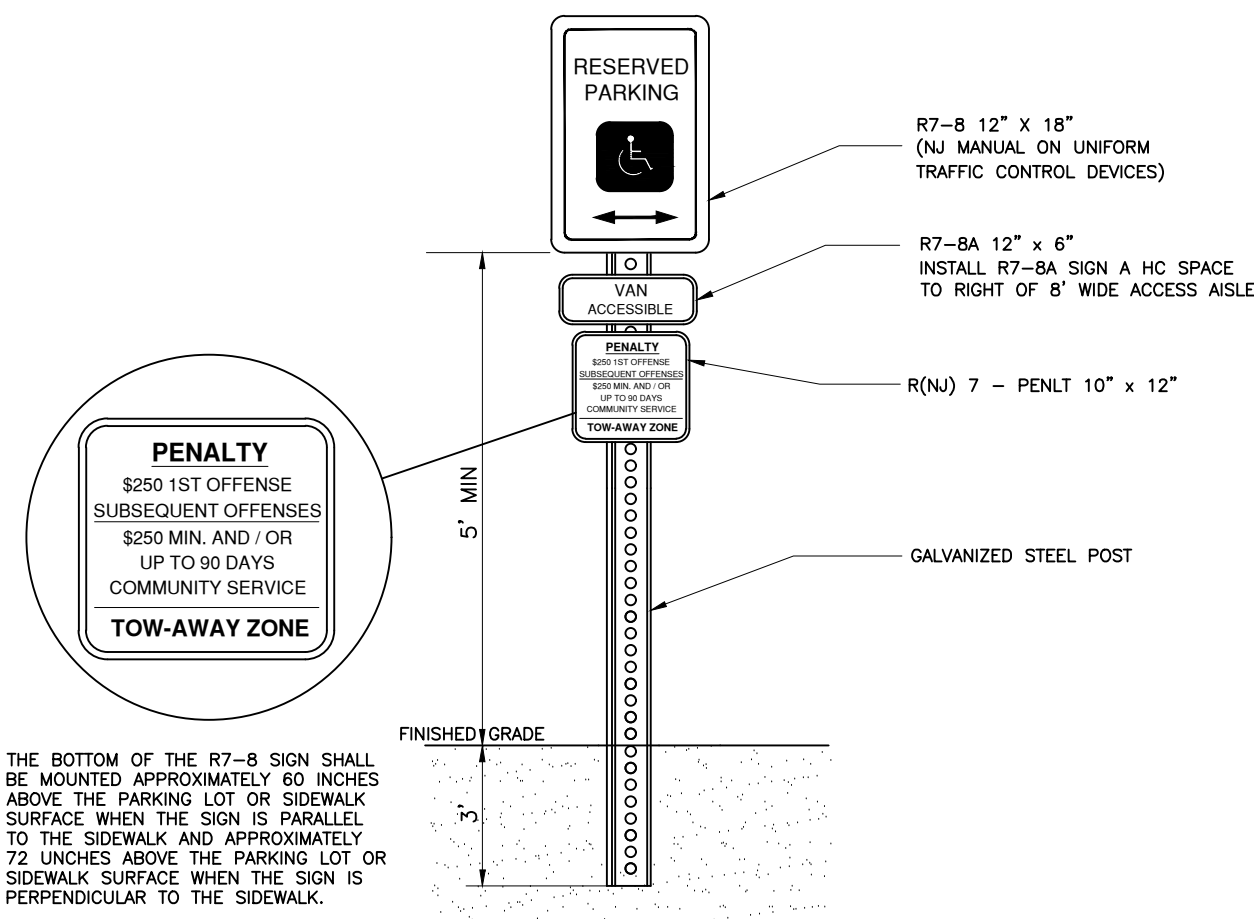
CONCRETE APRON DETAIL NTS



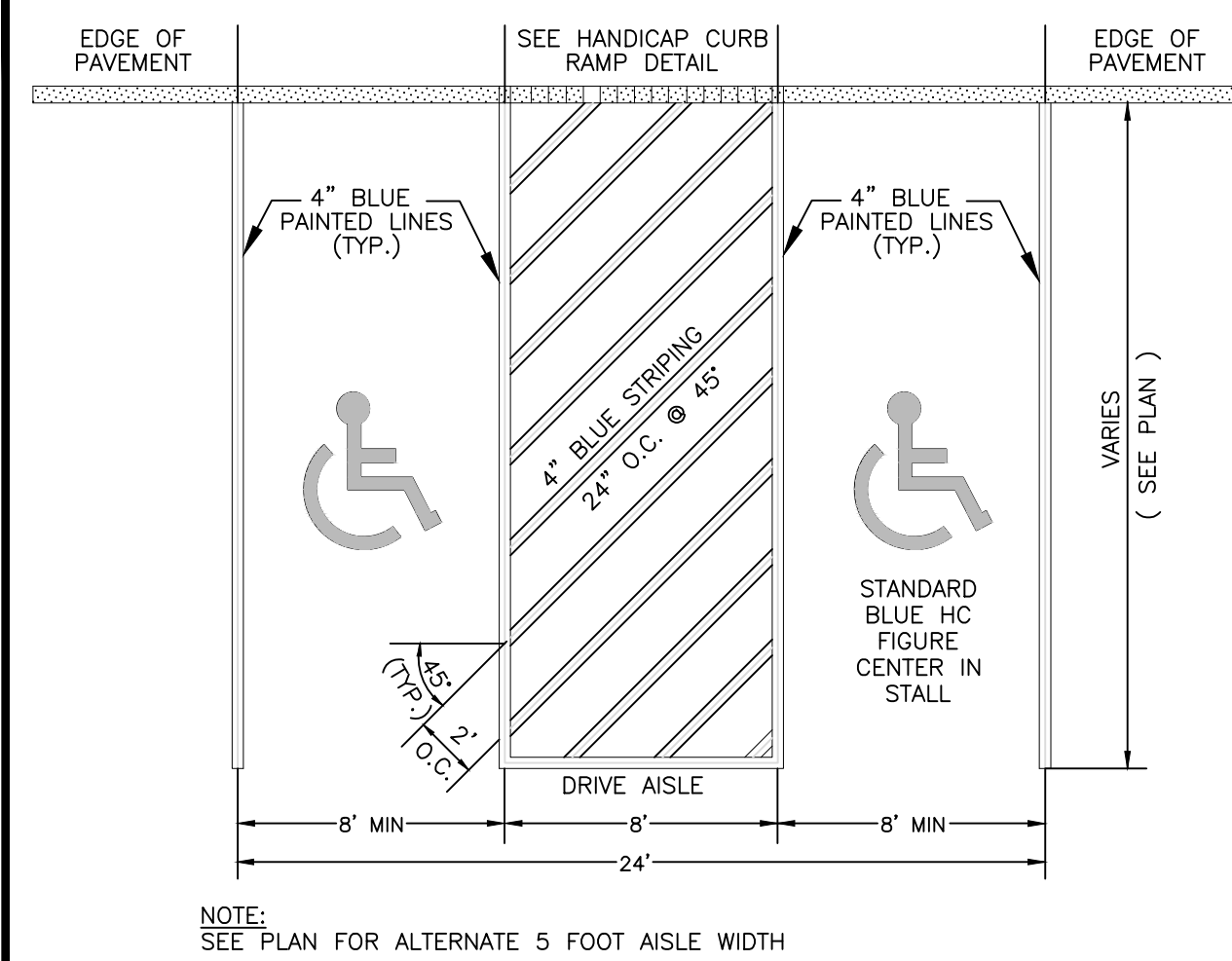
CONCRETE SIDEWALK DETAIL NTS



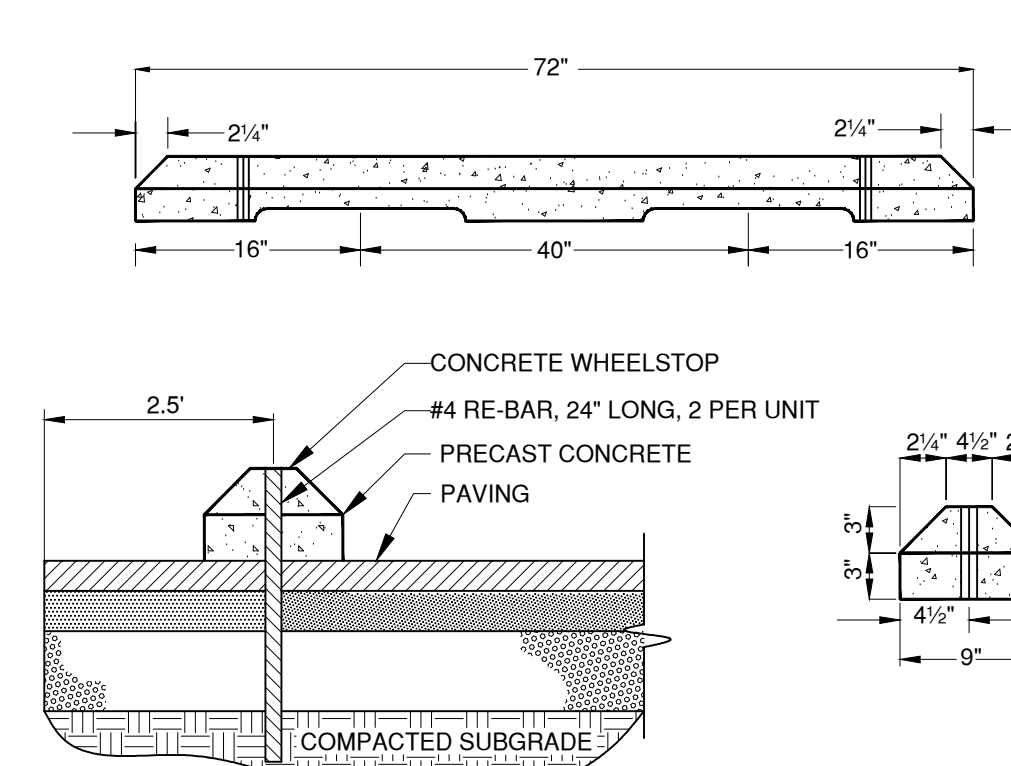
CONCRETE CURB DETAIL NTS



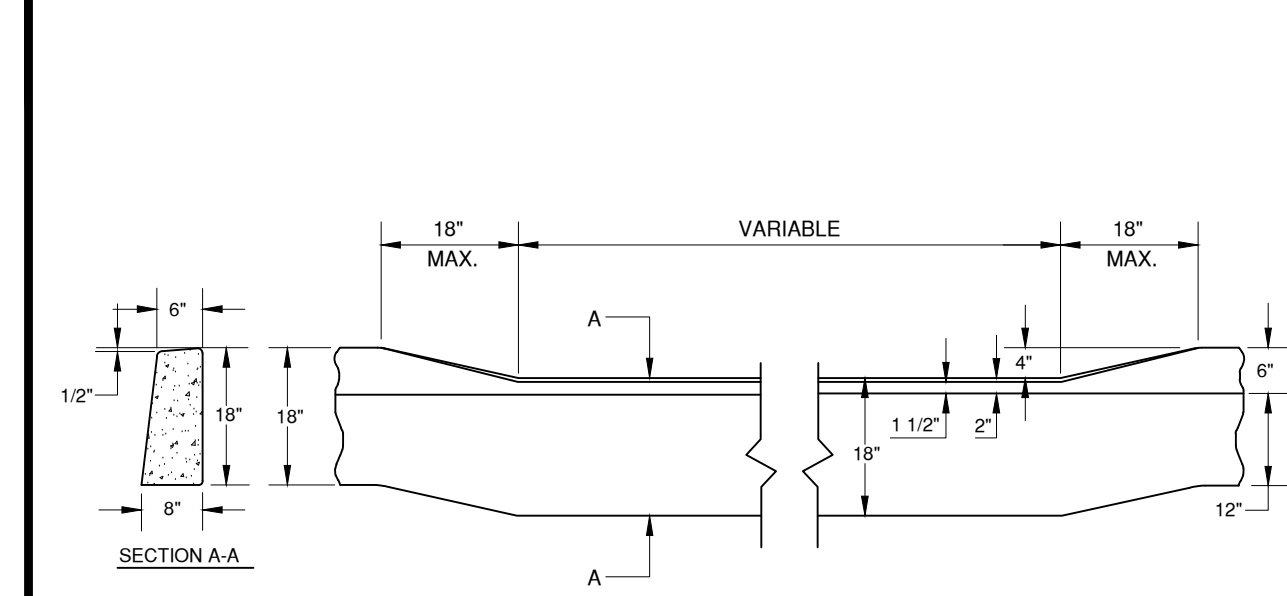
HANDICAP SIGN DETAIL NTS



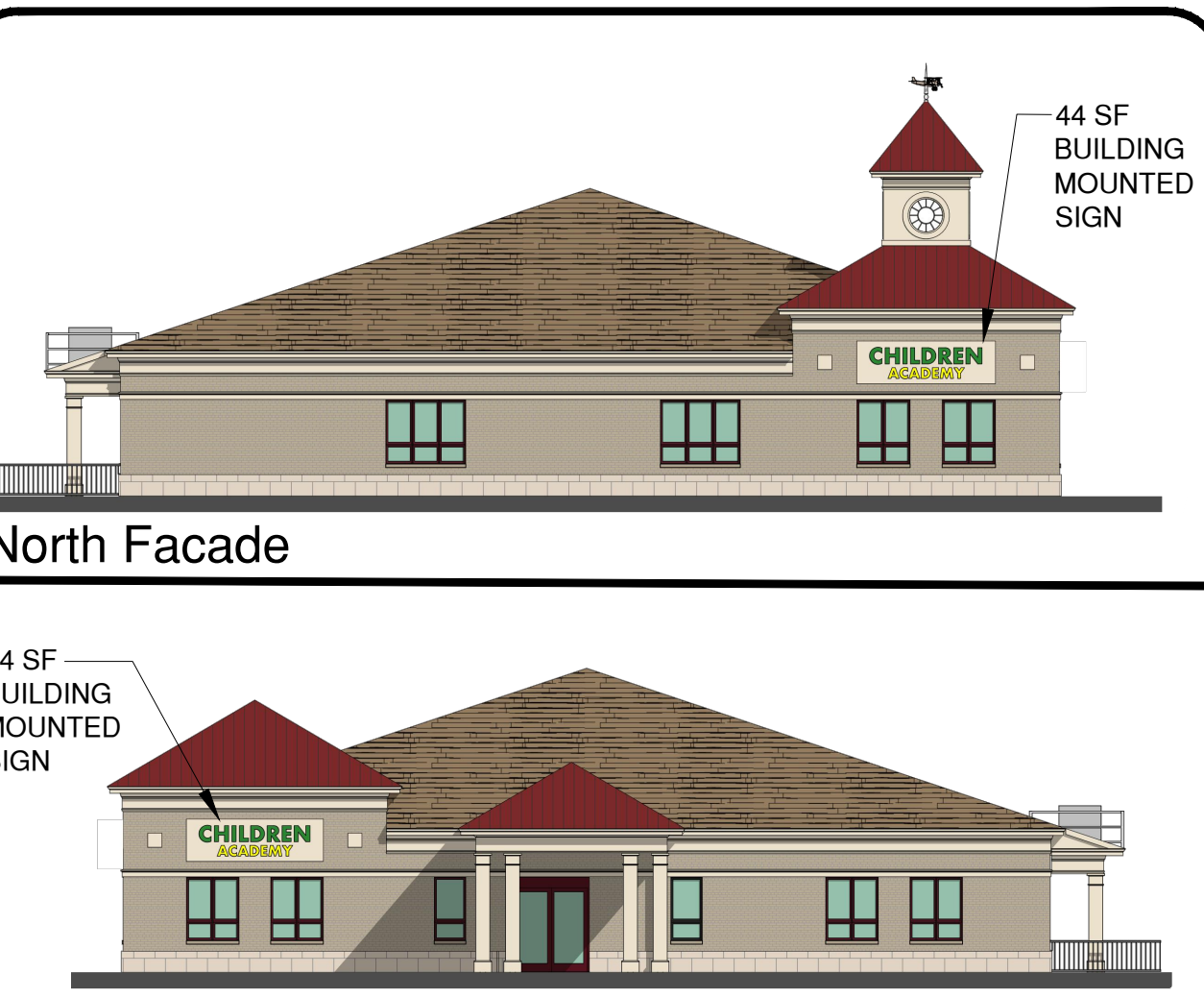
HANDICAP STRIPING DETAIL NTS



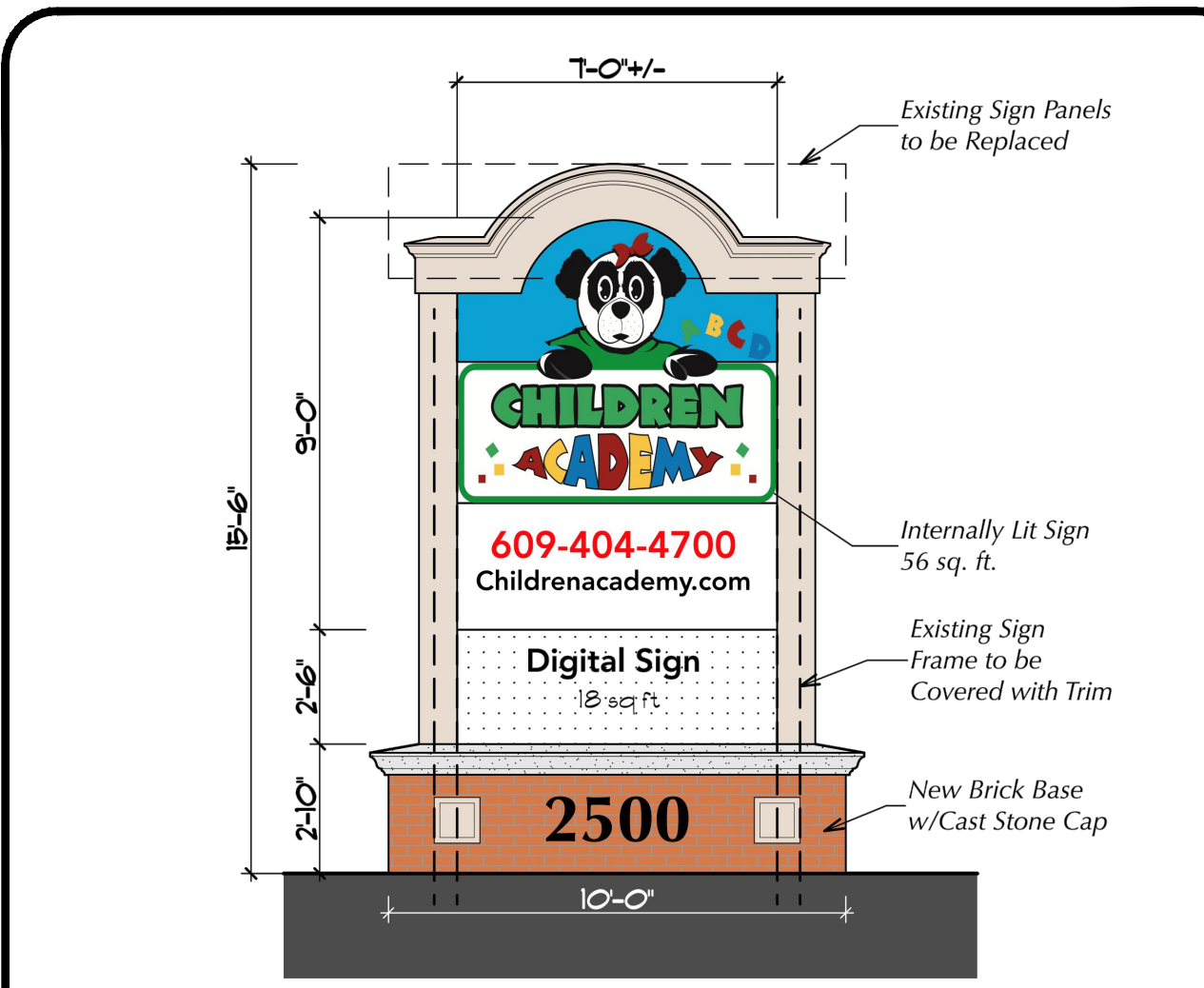
WHEELSTOP DETAIL NTS



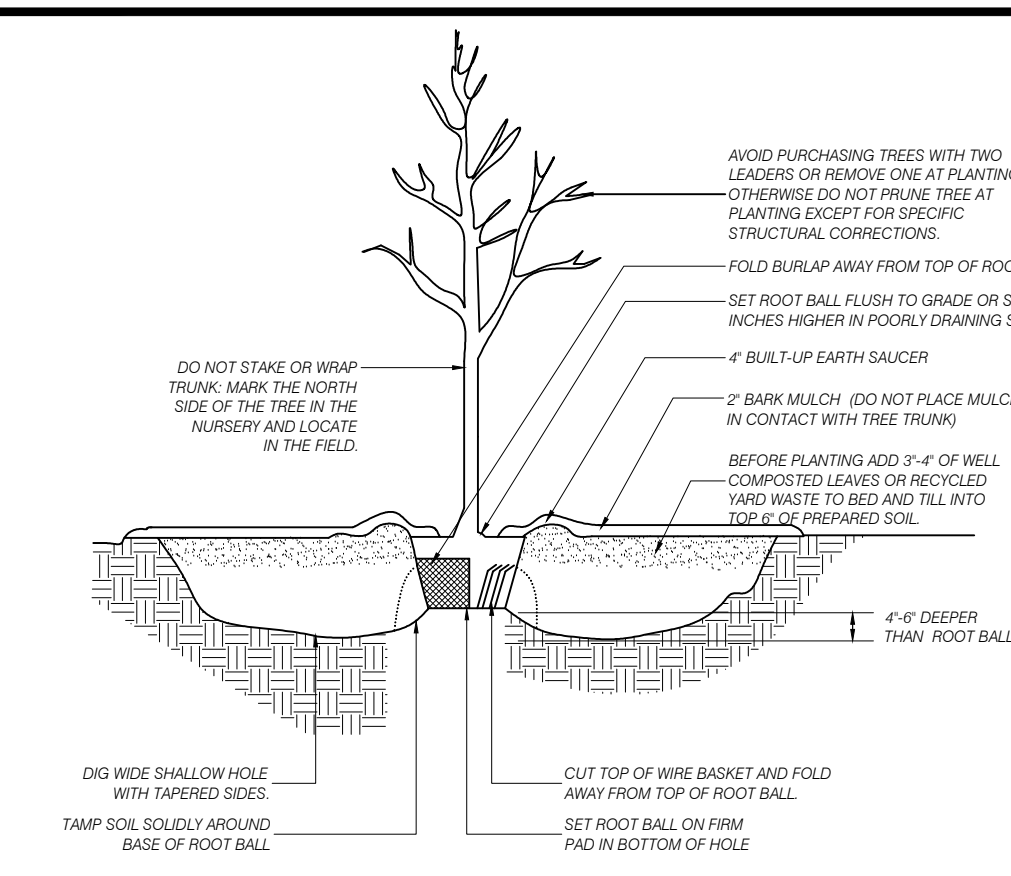
DEPRESSED CURB DETAIL NTS



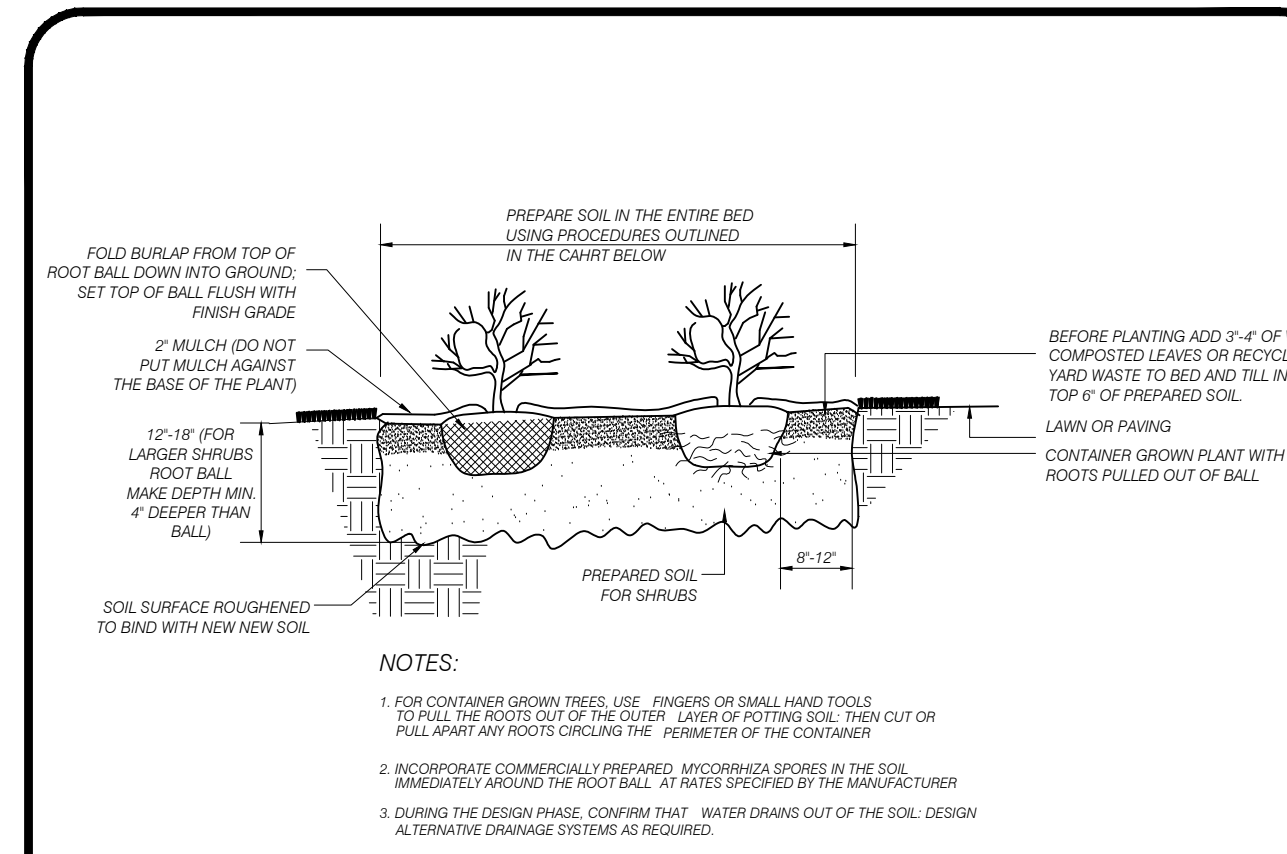
BUILDING MOUNTED SIGN DETAIL NTS



FREESTANDING SIGN DETAIL 1"=4'



TREE PLANTING DETAIL NTS



SHRUB PLANTING DETAIL NTS

EDA Engineering Design Associates, P.A.
 Environmental Planners Landscape Architects
 CAMBRIDGE PROFESSIONAL OFFICES
 5 Cambridge Drive Ocean View New Jersey 08230
 (609) 390-0332 • Fax: (609) 390-9204
 CERTIFICATE OF AUTHORIZATION #A020702650

ENGINEERING DETAILS
 BLOCK 75, LOT 33
 CITY OF NORTHFIELD
 ATLANTIC COUNTY, NEW JERSEY

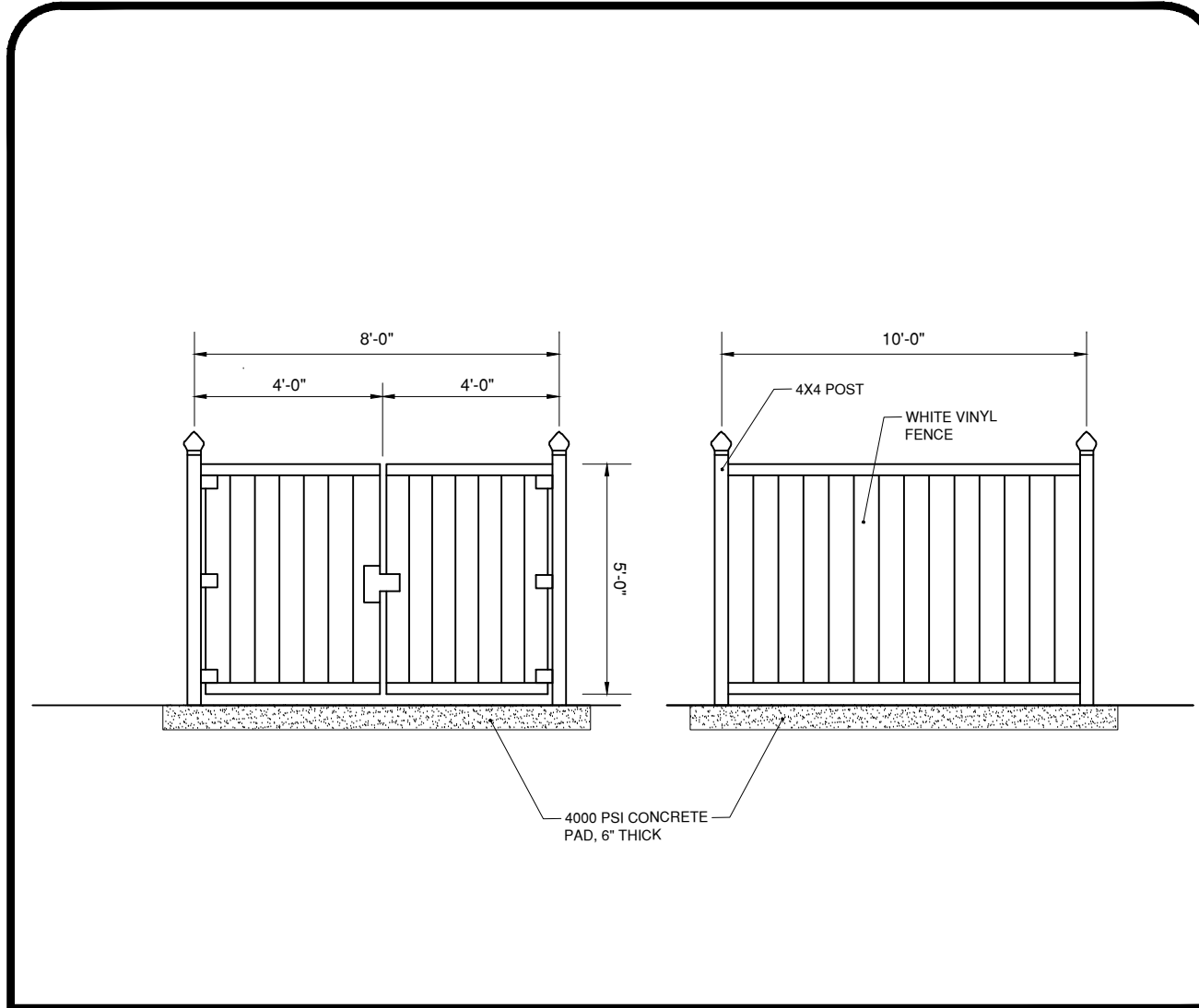
VINCENT C. ORLANDO
 PROFESSIONAL ENGINEER
 N.J.P.E. LIC. #32498

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REVISION	DATE	BY

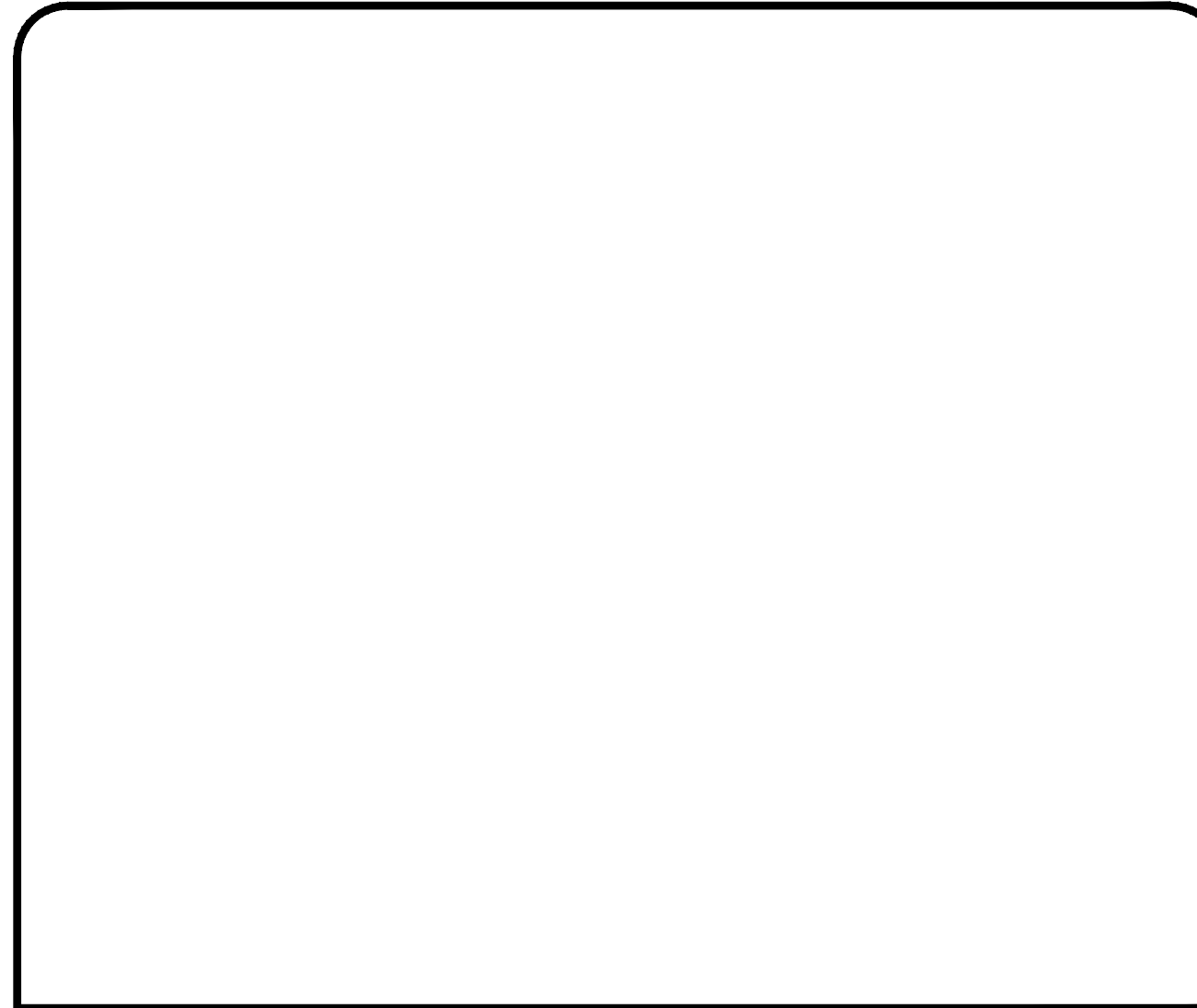
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DATE: 3/1/21	DRAWN BY: MJH
SCALE: AS NOTED	CHECKED BY: VCO
PROJECT #: 9113	SHEET: 5 OF 8



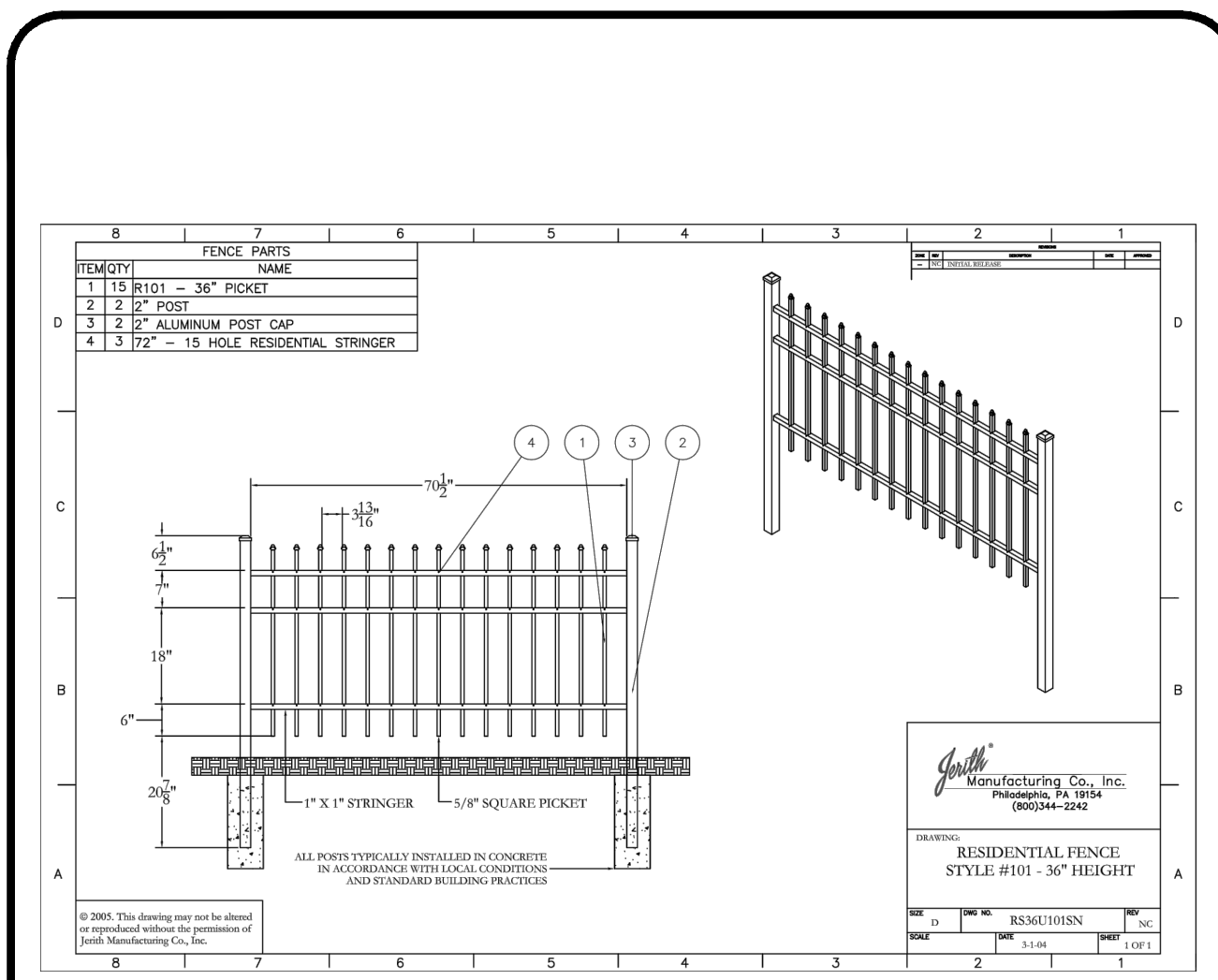
TYPE 'A' INLET DETAIL

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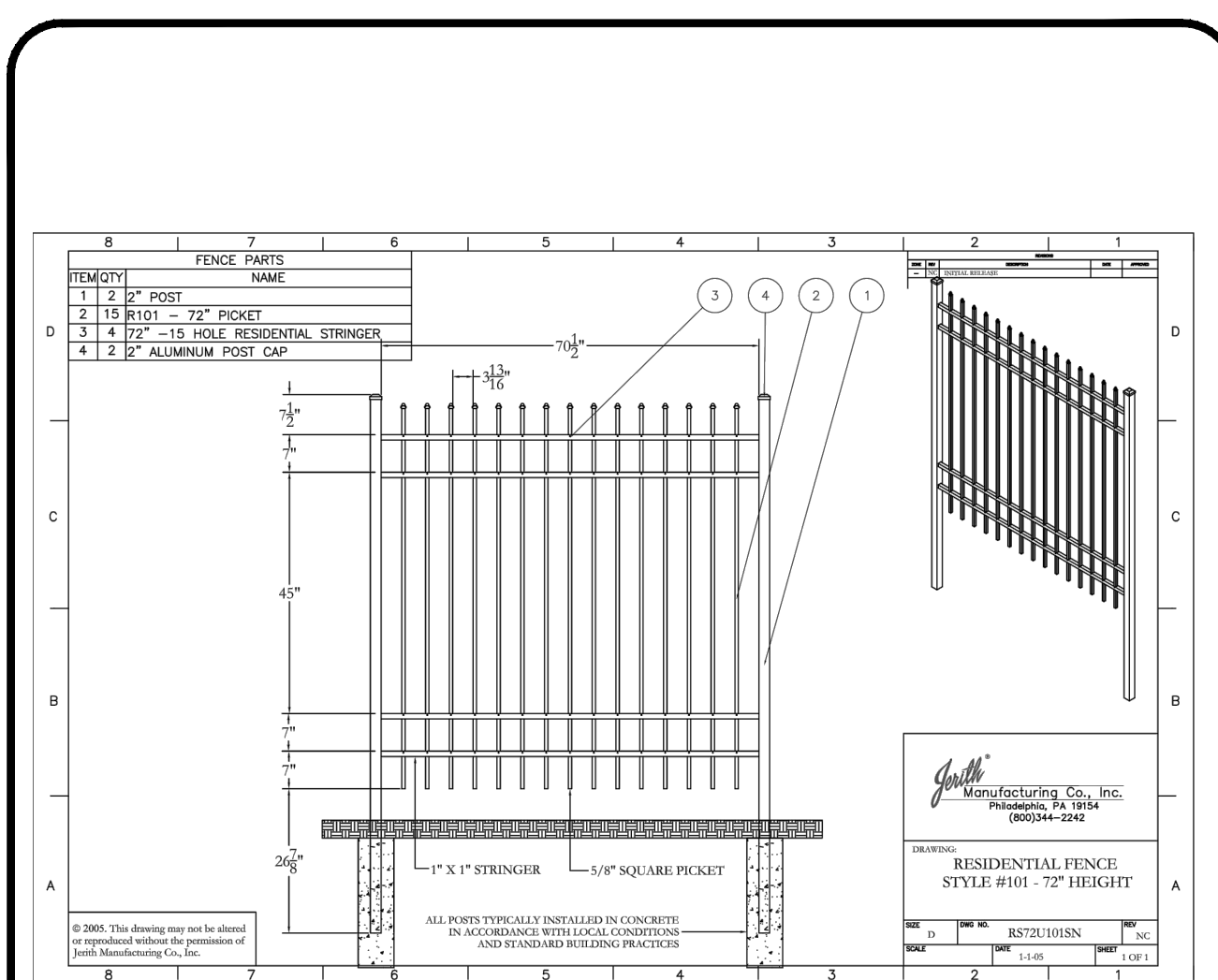
3' HIGH FENCE DETAIL

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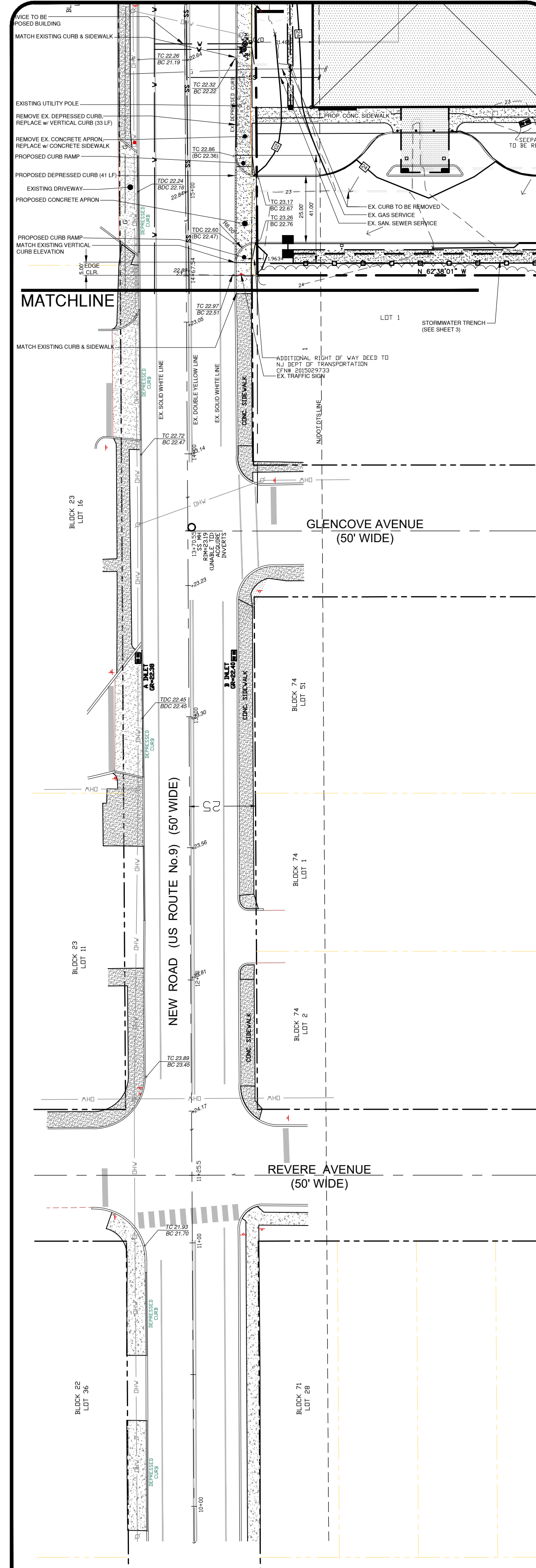
6' HIGH FENCE DETAIL

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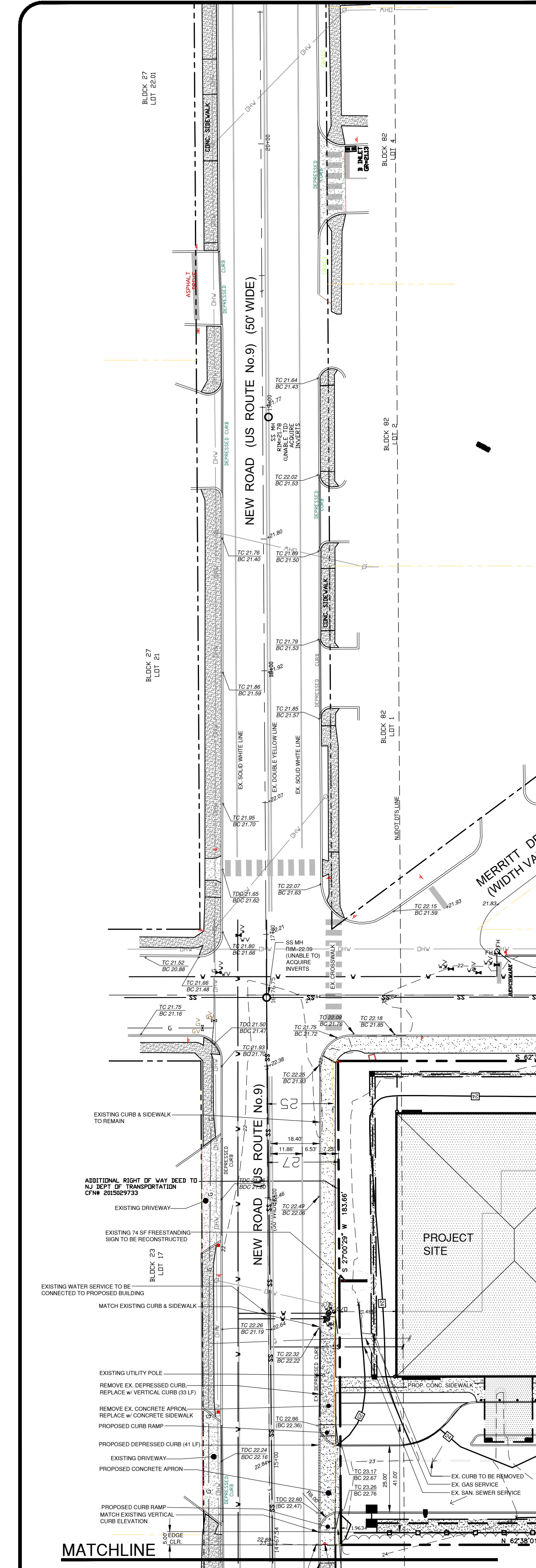
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NTS



NJDOT PLAN 'A'

NTS



NJDOT PLAN 'B'

1"=30'

EDA Engineering Design Associates, P.A.
 Environmental Planners Landscape Architects
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 5 Cambridge Drive Ocean View New Jersey 08230
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 CERTIFICATE OF AUTHORIZATION #350270650

ENGINEERING DETAILS
 BLOCK 75, LOT 33
 CITY OF NORTHFIELD
 ATLANTIC COUNTY, NEW JERSEY

VINCENT C. ORLANDO
 PROFESSIONAL ENGINEER
 N.J.P.E. LIC. #32498

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Rev. per Applicant	3/22/21	MJH
REVISION	DATE	BY

EDA

DATE: 3/1/21	DRAWN BY: MJH
SCALE: AS NOTED	CHECKED BY: VCO
PROJECT #: 9113	SHEET: 7 OF 8

SOIL EROSION AND SEDIMENT CONTROL PLAN

- 1. All applicable erosion and sediment control practices shall be in place prior to any grading or installation of proposed structures or utilities.
2. Soil Erosion and Sediment Control practices on this plan shall be constructed in accordance with the standards for Soil Erosion and Sediment Control in New Jersey.
3. Applicable erosion and sediment control practices shall be left in place until construction is completed and/or the area is stabilized.
4. The contractor shall perform all work, furnish all materials and install all measures required to reasonably control soil erosion resulting from construction operations and prevent excessive flow of sediment from the construction site.
5. Any disturbed area that is to be left exposed for more than thirty (30) days and not subject to construction traffic shall immediately receive a temporary seeding and fertilization in accordance with the New Jersey Standards and their rates should be included in the narrative. If the season prohibits temporary seeding, the disturbed areas will be mulched with salt hay or equivalent and anchored in accordance with the New Jersey Standards (i.e. peg and twine, mulch netting or liquid mulch binder).
6. It shall be the responsibility of the developer to provide confirmation of lime, fertilizer and seed and seed application rates of application at the request of the Soil Conservation District.
7. All critical areas subject to erosion will receive a temporary seeding in combination with straw mulch at a rate of 2 tons per acre, according to the New Jersey Standards immediately following rough grading.
8. The site shall at all times be graded and maintained such that all stormwater runoff is diverted to soil erosion and sediment control facilities.
9. All sedimentation structures will be inspected and maintained on a regular basis and after every storm event.
10. A crushed stone, lime cleaning pad will be installed wherever a construction access exists. The stabilized pad will be installed according to the standards for stabilized construction access.
11. All driveways must be stabilized with 2 1/2" crushed stone or sub-base prior to individual lot construction.
12. All paved areas must be kept clean at all times.
13. All catch basin inlets will be protected according to the certified plan.
14. All storm drainage outlets will be stabilized, as required, before the discharge points become operational.
15. All dewatering operations must discharge directly into a sediment filter area. The sediment filter should be composed of a suitable sediment fabric filter. (see detail). The basin must be dewatered to normal pool within 10 days of the design storm.
16. N.J. SA. 4-24-39, Est. Sec. requires that no certificate of occupancy be issued before all provisions of the certified soil erosion and sediment control plan have been complied with for permanent measures. All site work for the project must be completed prior to the district issuing a report of compliance as a prerequisite to the issuance of a certificate of occupancy by the municipality.
17. Mulching is required on all seeded areas to insure against erosion before grass is established to promote earlier vegetation cover.
18. Offsite sediment disturbance may require additional control measures to be determined by the erosion control inspector.
19. A copy of the certified Soil Erosion and Sediment Control Plan must be maintained on the project site during construction.
20. The Soil Conservation District shall be notified 48 hours prior to any land disturbance.
21. Any conveyance of this project prior to its completion will transfer full responsibility for compliance with the certified plan to any subsequent owners.
22. Immediately after the completion of stripping and stockpiling of topsoil, the stockpile must be stabilized according to the standard for temporary vegetative cover. Stabilize topsoil with straw mulch for protection if the season does not permit the application and establishment of temporary seeding. All soil stockpiles are not to be located within fifty (50) feet of a floodplain, slope, roadway or drainage facility and the base must be protected with a sediment barrier.
23. Any changes to the site plan will require the submission of a revised Soil Erosion and Sediment Control Plan to the Soil Conservation District. The revised plan must be in accordance with the current New Jersey Standards for Soil Erosion and Sediment Control.
24. Methods for the management of high acid producing soils shall be in accordance with the standards. High acid producing soils are those found to contain iron sulfides or have a pH of 4 or less.
25. Temporary and permanent seeding measures must be applied according to the New Jersey Standards, and mulched with salt hay or equivalent and anchored in accordance with the New Jersey Standards (i.e. peg and twine, mulch netting or liquid mulch binder).
26. Maximum side slopes of all exposed surfaces shall not be constructed steeper than 3:1 unless otherwise approved by the district.
27. Dust is to be controlled by an approved method according to the New Jersey Standards and may include watering with a solution of calcium chloride and water.
28. Adjoining properties shall be protected from excavation and land filling operations on the proposed site.
29. Use staged construction methods to minimize exposed surfaces, where applicable.
30. All vegetative material shall be selected in accordance with American Standards for Nursery Stock of the American Association of the Nurserymen and in accordance with the New Jersey Standards.
31. Natural vegetation and species shall be retained where specified on the Landscaping Plan.
32. The soil erosion inspector may require additional soil erosion measures to be installed, as directed by the district inspector.

STORMWATER MANAGEMENT MAINTENANCE PROGRAM

BASIN MAINTENANCE

In order to ensure that all retention and detention basins function properly, a maintenance program must be followed. The following are the minimum requirements for the maintenance of all basins.

- 1. Annual visual inspection of outlet structures and basins.
a. Inspection of outlet structures to include checking for obstructions of outfall pipes and the accumulation of silts and sediments.
b. Inspection of basins to include the removal of debris and accumulated particles such as silts and sediments.
2. For maintenance of vegetated basins:
a. Mowing of grass is required regularly to ensure the aesthetic quality of the site. All clippings shall be raked and bagged to avoid hitch hikers.
b. A dense turf, with extensive root growth, is encouraged to reduce erosion and enhance infiltration throughout the bottom and the side of the basin. Well-established turf of the floor and sides will grow through sediment deposits, thus forming a porous turf and preventing the formation of an impervious layer.
c. Grasses of the fescue family are recommended for seeding, primarily due to their adaptability to dry sandy soil, drought resistance, hardiness, and ability to withstand brief inundations. Fescues will also permit longer intervals between mowings.
d. Seed type: A mixture of the following special water-tolerant seed will ensure a high quality grass for retention basins.

Table with columns: INGREDIENTS, SEEDING RATE, and Seeding rate details for various grasses like Fescue, Perennial Ryegrass, Kentucky Bluegrass, and White Clover.

- e. Fertilizing and liming: Bi-annually
Fertilize with 10-20-10 at a rate of 11 lbs./1,000 SF
Lime with pulverized dolomite limestone at a rate of 90 lbs./1,000 SF
3. Long term Maintenance
a. In order to ensure proper function of all basins, every seven years each basin bottom shall be scarified to a depth of 4" to remove sediments and silts. Then 4" of topsoil must be added and reseeded.

STORMWATER STRUCTURE MAINTENANCE

- 1. MINIMUM REQUIREMENTS FOR MAINTENANCE
a. TRENCHES/SWALES - Trenches/Swales to be inspected for rubbish or channel obstructions, bank failure, accumulation of silts and sediments, undesirable vegetation growth, rodents, and overall system failure.
b. OUTLET STRUCTURE/CONDUIT
Inspection of outlet structures and conduit to include checking for pipe, accumulation of silts and sediments, cracking, corrosion, deterioration from freezing, salt or chemicals, excessive wear or damage from setting.
c. SPILLWAYS/INLET MANHOLE
Inspection to include checking for cracking, rodents, obstructions (silt-sediment, trash or other.) Check any gates, racks, or grates, for damage from corrosion, ice debris. Check for unauthorized modifications, tampering or vandalism.
2. LONG TERM MAINTENANCE
a. As noted, any basin, pipe, pit, trench or inlet not functioning as designed will be thoroughly as prescribed. Any system that continues to remain inoperable after thorough cleaning must be removed and replaced.

RESPONSIBILITY
All on-site retention facilities shall be the sole responsibility of the developer/owner, his assigns and/or heir. The responsibility shall include but not be limited to installation, inspection, and maintenance.
DETENTION FACILITY MAINTENANCE
The primary mechanical equipment use in the Annual Maintenance of the Basins will be for lawn cutting. The exact type and size of this equipment is to be determined by the maintenance service under contract for the project.

SOIL CONSERVATION NOTES

STORMWATER MANAGEMENT MAINTENANCE PROGRAM

MULCHING

Mulching is required on all seeding. It is defined as stabilizing exposed soils with non-vegetative materials. The purpose is to protect exposed soil surfaces from erosion damage and to reduce offsite environmental damage. Mulching provides temporary mechanical protection against wind or rainfall induced soil erosion until permanent vegetative cover may be established. This practice is applicable to areas subject to erosion, where the season and other conditions may not be suitable for growing. An erosion-resistant cover or where stabilization is needed for a short period until more suitable protection can be applied.

1. SITE PREPARATION

A. Grade as needed and feasible to permit the use of conventional equipment for seedbed preparation, seeding, mulch application, and mulch anchoring. All grading should be done in accordance with Standards for Land Grading, pg 19-1.
B. Install needed erosion control practices or facilities such as diversion, grade stabilization structures, channel stabilization measures, sediment basins, and waterways. See Standards 1 through 42.

2. PROTECTIVE MATERIALS

A. Mulch materials should be unrotted small grain straw, hay, free of seeds, or salt hay to be applied at the rate of 2.0 to 2.5 tons per acre (90 to 115 pounds per 1,000 square feet).
Synthetic or organic soil stabilizers may be used under suitable conditions and in quantities as recommended by the manufacturer.
Wood-fiber or paper-fiber mulch at a rate of 1,500 pounds per acre may be applied by a hydrosower.
Mulch netting such as paper jute, excelsior, cotton, or plastic, may be used.
Woodchips applied uniformly to a minimum depth of 2 inches may be used. Woodchips will not be used on areas where flowing water could wash them into an inlet and plug it.
Gravel, crushed stone, or slag at the rate of 9 cubic yards per 1,000 SF applied uniformly to a minimum depth of 3 inches may be used. Size 2 or 3 (ASTM C-33) is recommended.

3. MULCH

Mulch anchoring should be accomplished immediately after placement to minimize loss by wind or water. This may be done by one of the following methods, depending upon the size of the area, steepness of slopes, and costs:
A. Peg and Twine - Drive 8 to 10 inch wooden pegs to within 2 to 3 inches of the soil surface every 4 feet in all directions. Stakes may be driven before or after applying mulch. Secure mulch to soil surface by stretching twine between pegs in a criss-cross and a square pattern. Secure twine with two or more round turns.
B. Mulch Nettings - Staple paper, jute, cotton, or plastic nettings to the soil surface. Use a degradable netting in areas to be mowed.
C. Cramer (mulch anchoring tool) - A tractor-drawn implement, somewhat like a disc-harrow, especially designed to push or cut some of the broadcast long fiber mulch 3 to 4 inches into the soil as to anchor it and leave part standing upright. This technique is limited to areas traversable by a tractor, which must operate on the contour of slopes. Straw mulch rate must be 3 tons per acre. No tackifying or adhesive agent is required.

D. Liquid Mulch-Binders - May be used to anchor salt hay, hay, or straw mulches
a. Applications should be heavier at edges where wind catches the mulch, in valleys, and at crests of banks. Remainder of area should be uniform in application.
b. Use one of the following:
(1) Organic and Vegetable Based Binders - Naturally occurring, power based, hydrophilic materials that mixed with formulates a gel and when applied to mulch under satisfactory curing conditions will form membraned networks of insoluble polymers. The vegetative gel shall be physiologically harmless and not result in a phytotoxic effect or impede growth of turf grass. Vegetable based gels shall be applied at rates and weather conditions recommended by the manufacturer.
(2) High polymer synthetic emulsion, with water when diluted and following application to mulch, drying and curing shall no longer be soluble or dispersed in water. It shall be applied at rates weather conditions recommended by the manufacturer and remain tacky until termination of grass.

SOIL DE-COMPACTION & TESTING REQUIREMENTS

- 1. Subgrade soils prior to the application of topsoil shall be free of excessive compaction to a depth of 6.0 inches to enhance the establishment of permanent vegetative cover.
2. Area of the site which are subject to compaction testing and/or mitigation are graphically denoted on the certified soil erosion control plan.
3. Compaction testing locations are denoted on the plan. A copy of the plan or portion of the plan shall be used to mark locations of tests, and attached to the compaction remediation form, available for the District. The form shall be completed and submitted prior to receiving a certificate of compliance from the District.
4. Should testing indicate compaction on excess of the maximum thresholds indicated for the simplified testing methods (see details), the contractor shall have the option to perform either (1) compaction mitigation over the entire mitigation area denoted on the plan or (2) perform additional, detailed testing to establish the limits of excessive compaction whereupon only the excessively compacted areas would require compaction mitigation. Additional testing shall be performed by a trained, licensed professional.

COMPACTION TESTING METHODS

- B. Probing Wire Test (see detail)
C. Hand-help Penetrometer Test (see detail)
D. Tube Bulk Density Test (licensed professional engineer required)
E. Nuclear Density Test (licensed professional engineer required)
Notes: Additional testing methods which conform to ASTM standards and specification, and which produce a dry weight, soil bulk density measurement may be allowed subject to District approval.
Soil Compaction testing is not required if/when subsoil compaction remediation (scarification/tillage - 6" minimum depth or similar) is proposed as part of the sequence of construction.

PROCEDURES FOR SOIL COMPACTION MITIGATION

Procedures shall be used to mitigate excessive soil compaction prior to placement of topsoil and establishment of permanent vegetative cover. Restoration of compacted soils shall be through deep scarification/tillage (6" minimum depth) where there is no danger to underground utilities (cables, irrigation systems, etc.). In the alternative, another method as specified by a New Jersey Professional Licensed Engineer may be substituted subject to District Approval.

STANDARDS FOR TOPSOILING

Topsoil should be friable and loamy, free of debris, objectionable weeds and stones, and contain no toxic substance that may be harmful to plant growth, a pH range of 5.0-7.5 is acceptable. Soluble salts should not be excessive (conductivity less than 0.5 millimhos per centimeter). Topsoil hauled in from off site should have a minimum organic matter content of 2.75 percent. Organic matter content may be raised by additives.

- 1. Stockpiling
a. Stockpiles of topsoil should be situated so as not to obstruct natural drainage or cause off-site environmental damage.
b. Stockpiles should be vegetated in accordance with temporary seeding specifications on soil erosion sheet.
2. Site Preparation
a. Grade as needed and feasible to permit the use of conventional equipment for seedbed preparation, seeding, mulch application and anchoring, and maintenance.
b. Subsoil should be tested for lime requirement and limestone, if needed, should be applied to bring soil pH to 6.5 and incorporate into as nearby as practical to a depth of 4 inches.
c. Immediately prior to topsoil distribution, the surface should be scarified to provide a good bond with the topsoil.
d. Employ needed erosion control practices such as diversion, grade stabilization structures, channel stabilization measures, sedimentation basins, and waterways.
3. Applying Topsoil
a. Topsoil should be handled only when it is dry enough to work without damaging soil structure; i.e., less than field capacity.
b. A uniform application to a depth of 5 inches tined in place is required. Soils with a pH of 4.0 or less or containing iron sulfides shall be covered with a minimum depth of 12 inches of soil having a pH of 5.0 or more.

DUST CONTROL STANDARDS

The following methods should be considered for dust control at the request of the Township Construction Code Official, or upon inspection by an S.C.D. official.

- 1. Spray - On Adhesive - On mineral soils (not effective on moist soils). Keep traffic off these areas.
Water Dilution Type of Nozzle Apply Gallons/Acre
a. Anionic asphalt emulsion 7:1 Coarse spray 1,200
b. Latex emulsion 12:1:1 Fine spray 235
c. Resin in water 4:1 Fine spray 300
2. Tilling - To rough surface and bring clods to the surface. This is a temporary emergency measure which should be used before soil blowing starts. Begin plowing on windward side of site. Chisel-type plows spaced about 12 inches apart, and spring-toothed harrows are examples of equipment which may produce the desired effect.
3. Sprinkling - Site is sprinkled until the surface is wet.
4. Barriers - Solid board fences, snow fences, burlap fences, crate walls, bales of hay and similar material can be used to crate walls, bales of hay and similar material can be used to control air currents and soil blowing.
5. Calcium Chloride - Shall be in the form of loose dry granules at a rate that will keep surface moist but not cause or flakes fine enough to feed through commonly used spreaders, pollution or plant damage. If used on steeper slopes, then pollution or plant damage. If used on steeper slopes, then use other practices to prevent washing into streams or accumulation around plants.
6. Stone - Cover surface with crushed stone or coarse gravel.
7. Mulch - Stabilization with approved mulches and vegetation cover being temporary of permanent.

SEEDING SPECIFICATIONS

Table with columns: Temporary Seeding, Fertilizer, Limestone, Perennial Ryegrass, Permanent Seeding, Fertilizer, Limestone, Mixture B-15, Hard Fescue, Perennial Ryegrass, and Seeding rates in lbs./1,000 SF.

FERTILIZER

Work fine and fertilizer into soil as nearly as practical to depth of four inches (4"). Remove from the surface all stones two inches (2") or larger. Roll soil to firm the seed bed where feasible. Use specifications as shown above.
Note: Optimum seeding dates February 1 to April 30 and August 15 to October 30.

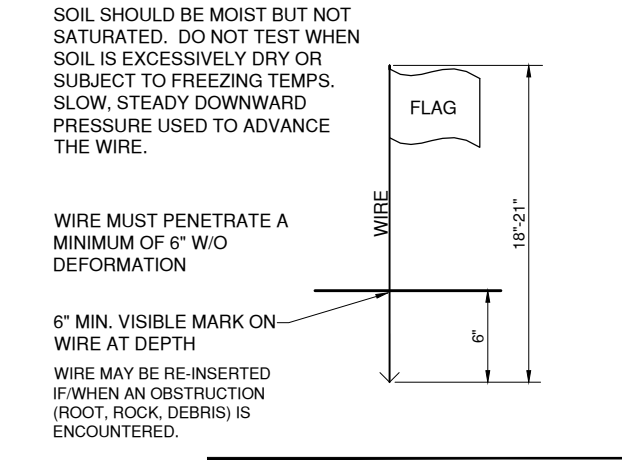
SOIL CONSERVATION NOTES

Table with columns: PHASE, OPERATION, TIME PERIOD. Lists construction phases from A to N, including operations like establish erosion control, site clearing, rough grading, stormwater basin construction, sewer/water systems, drainage swales, seeding, paving, building, compaction, and landscaping.

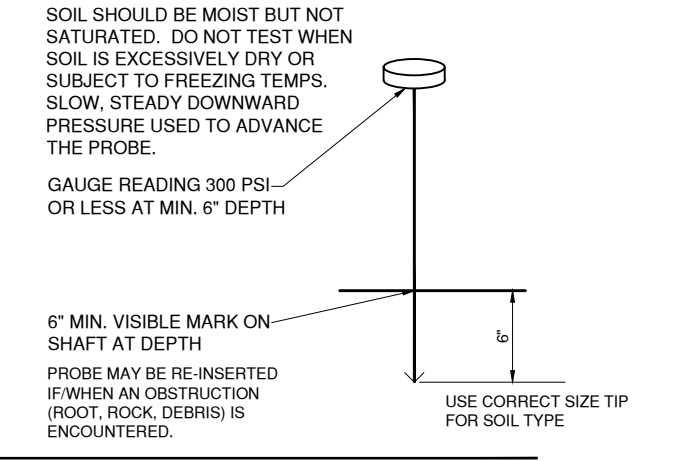
VARIOUS LOT GRADING TO CONTINUE THROUGHOUT CONSTRUCTION SEQUENCE. DURATION OF EACH SEQUENCE WILL VARY DUE TO SECTIONALIZATION AND MARKET CONDITIONS. CONSTRUCTION WILL BEGIN FALL 2021

CONSTRUCTION SEQUENCE

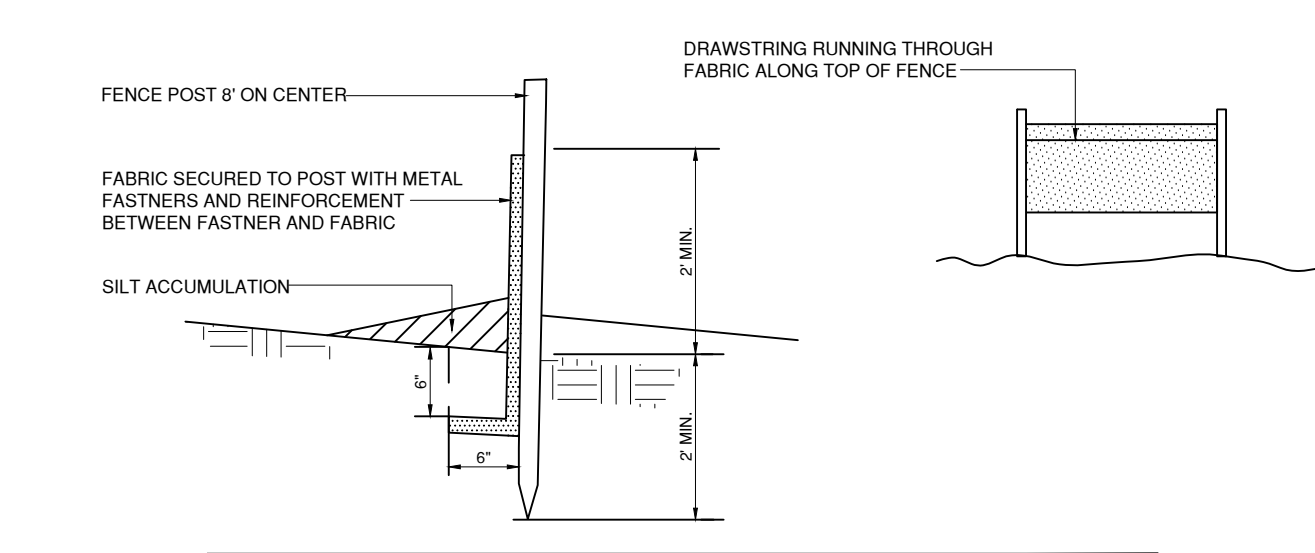
PROBING WIRE TEST - 15.5 GAUGE STEEL WIRE (SURVEY FLAG)



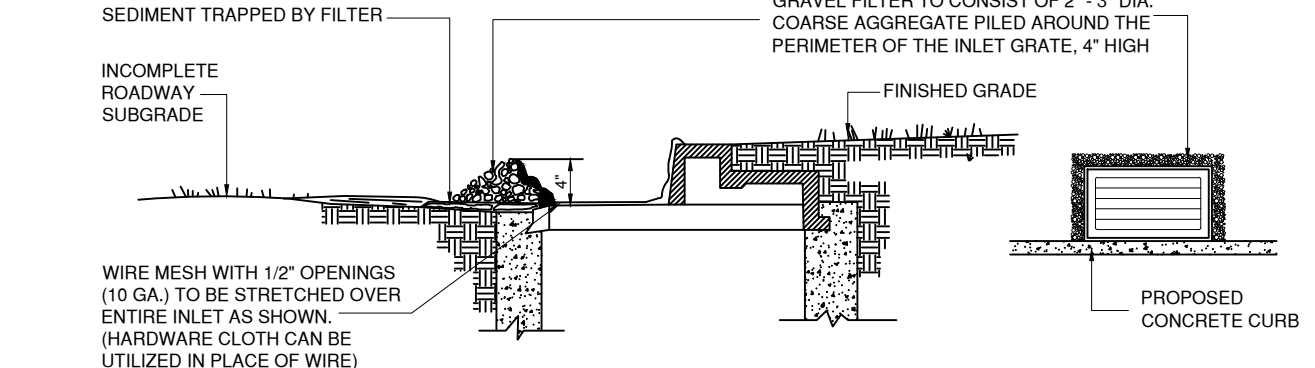
HANDHELD SOIL PENETROMETER TEST



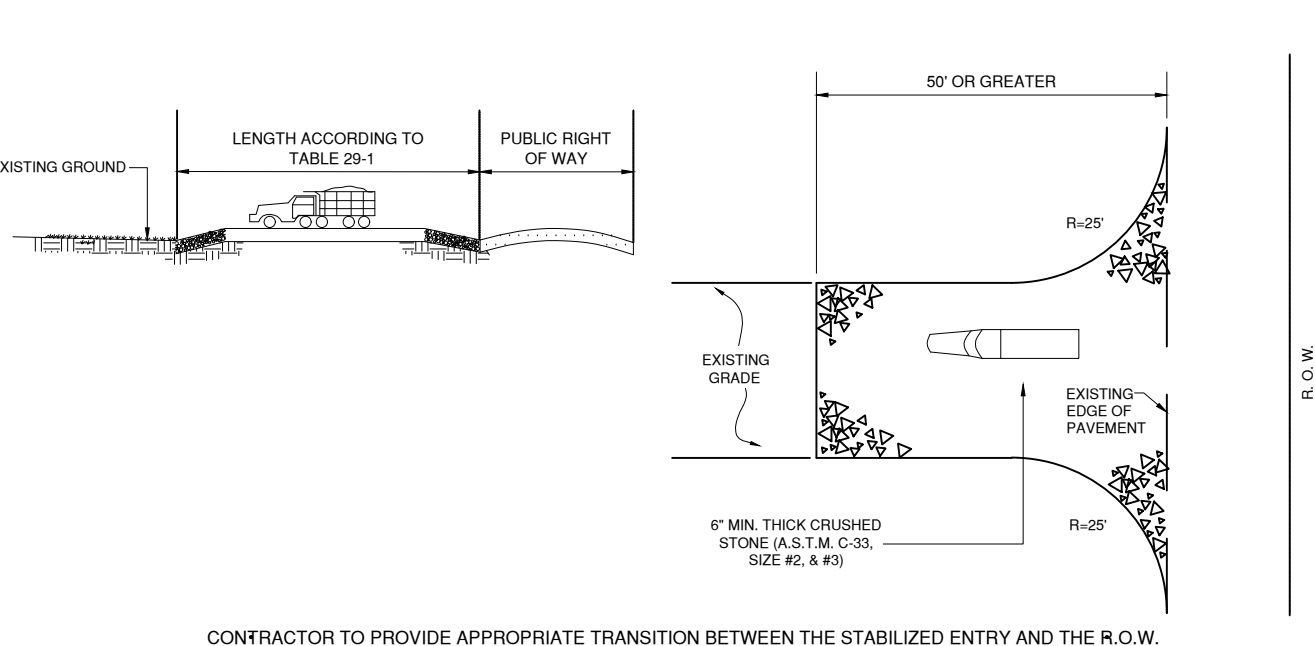
COMPACTION TESTING DETAILS



SILT FENCE DETAIL



INLET PROTECTION DETAIL



CONTRACTOR TO PROVIDE APPROPRIATE TRANSITION BETWEEN THE STABILIZED ENTRY AND THE R.O.W MAINTENANCE

STABILIZED CONSTRUCTION ENTRANCE DETAIL

The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto roadways. This may require periodic dressing with additional stone or additional length as conditions demand and repair and/or cleanup of any measures used to trap sediment. All sediment spilled, dropped, washed, or tracked onto roadways (public or private) or other impervious surfaces must be removed immediately.
Where accumulation of dust/sediment is inadequately cleaned or removed by conventional methods, a power broom or street sweeper will be required to clean paved or impervious surfaces. All other access points which are not stabilized shall be blocked off.

SOIL CONSERVATION DETAILS



S.C.D. SOILS MAP SCALE: 1"=200'

Soils map data for Atlantic County, New Jersey, including a table for Gamma-Bulk Density Test (ASTM D1557) and data source information.

SOILS DESCRIPTION

- LAND COVER
A. Total Area of Site.....0.93 Acres
B. Present Cover.....Developed
C. Total Area of Disturbance.....0.93 Acres
D. Adjacent Site Conditions.....Developed

RESPONSIBILITY

All soil erosion and sediment control measures and facilities shall be the sole responsibility of the developer/owner. The responsibility shall include, but not be limited to installation, inspection, and maintenance of conditions during and following construction.

Table with columns: OWNER (Children Academy, 213 E. Jimmy Leeds Road, Galloway, NJ 08205), DATE (3/1/21), DRAWN BY (MJH), SCALE (AS NOTED), CHECKED BY (VCO), PROJECT # (9113), SHEET (8 OF 8)

Engineering Design Associates, P.A. logo and contact information for Cambridge Professional Offices in New Jersey.

Professional Engineer Vincent C. Orlando, N.J.P.E. LIC. #32498, with signature.

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Table for REVISION, DATE, BY columns.

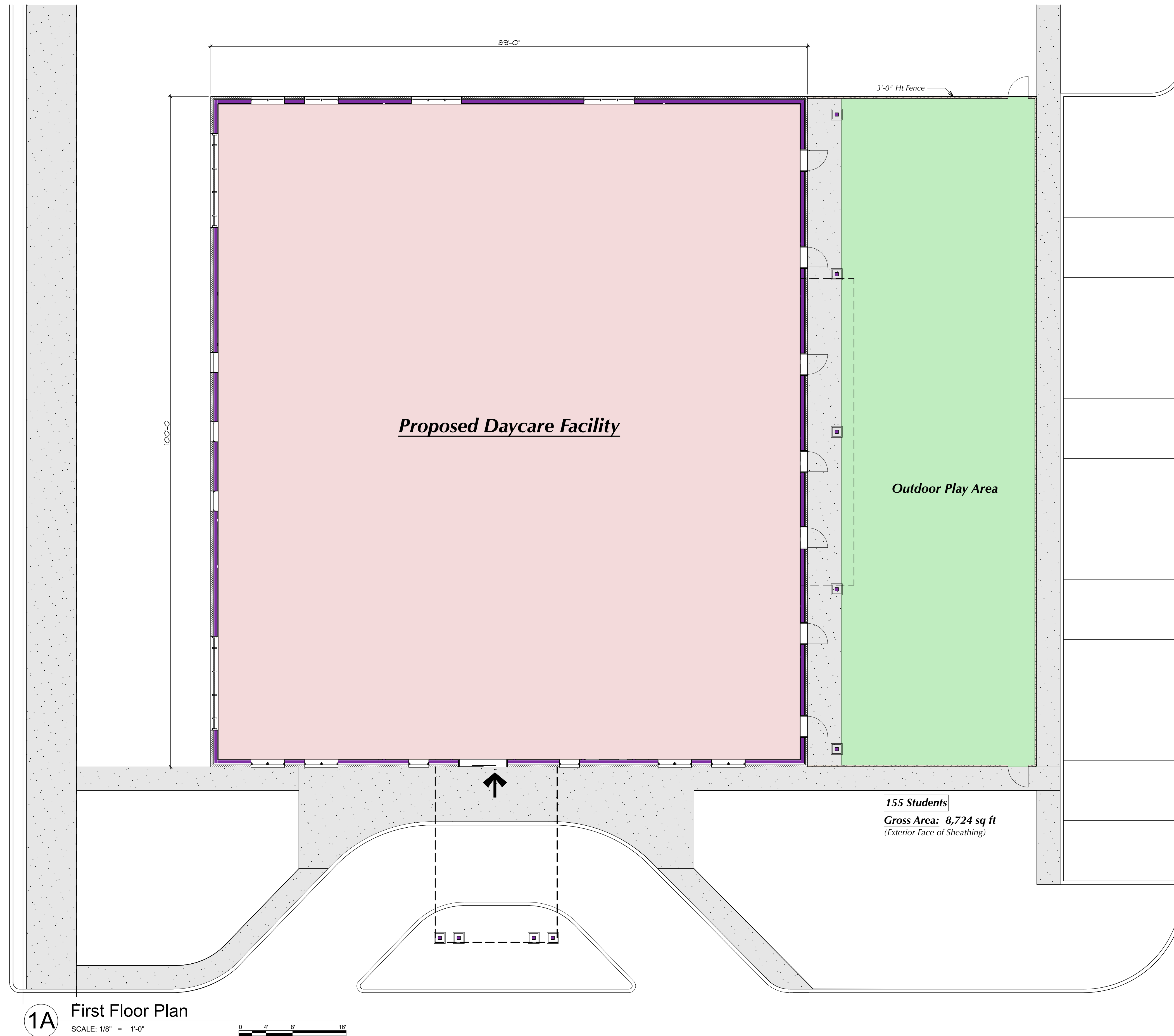
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EDA logo.

Table with columns: DATE (3/1/21), DRAWN BY (MJH), SCALE (AS NOTED), CHECKED BY (VCO), PROJECT # (9113), SHEET (8 OF 8)

Children Academy

234 Ridgewood Drive.
Northfield, NJ
Block 30, Lot 75

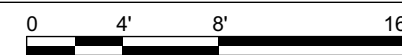


Children Academy

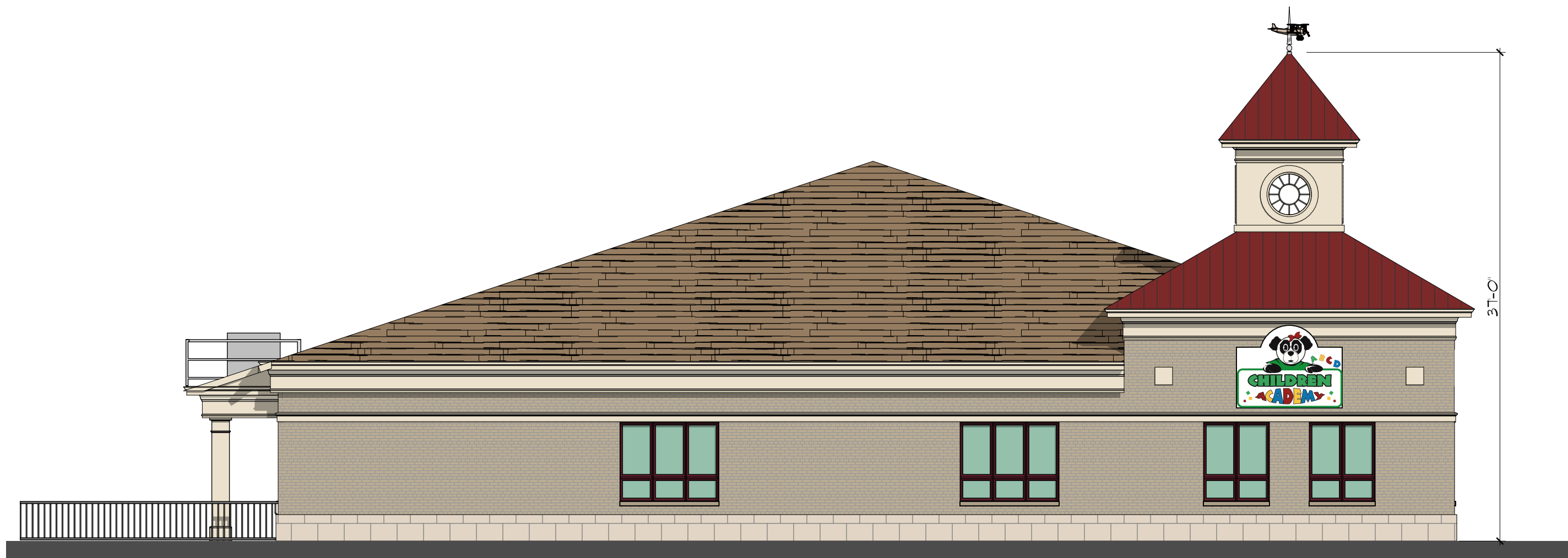
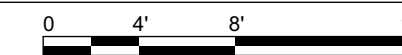
234 Ridgewood Drive,
Northfield, NJ
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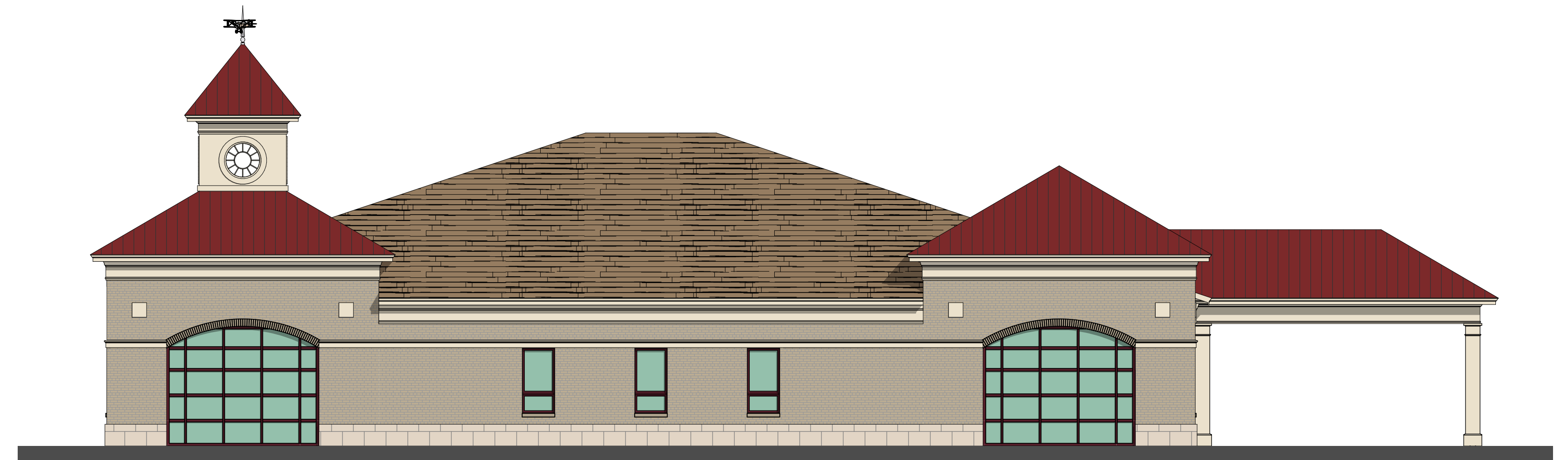
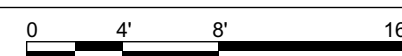
1C FRONT ELEVATION
SCALE: 1/8" = 1'-0"



3C RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



1A REAR ELEVATION
SCALE: 1/8" = 1'-0"

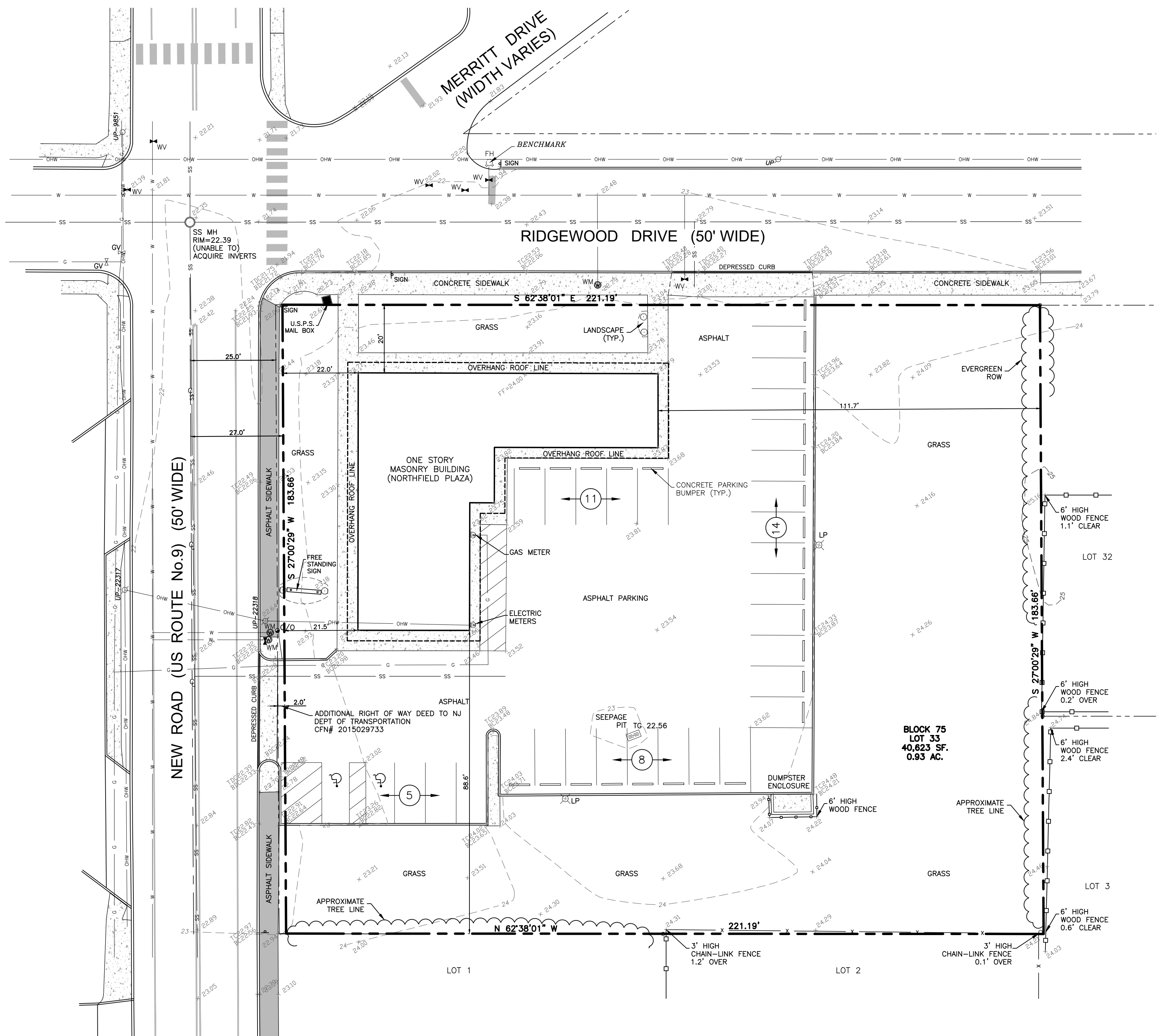


3A LEFT ELEVATION
SCALE: 1/8" = 1'-0"



GENERAL NOTES

- PROPERTY IN QUESTION WAS SURVEYED IN ACCORDANCE WITH A TITLE REPORT PREPARED BY AGENTS TITLE, LLC, COMMITMENT No.339747-01 DATED 12-23-2020. THIS PARCEL IS SUBJECT TO THE RIGHTS, RESTRICTIONS, CLAIMS AND EASEMENTS RECITED IN SAID TITLE REPORT.
- ELEVATIONS ARE BASED ON N.A.V.D 1988 DATUM ESTABLISHED BY G.P.S. CONTROL.
PROJECT BENCHMARK IS A LETTER "M" IN WORD "MUELLER" ON A FIRE HYDRANT LOCATED AT THE INTERSECTION LINES OF RIDGEWOOD DRIVE AND MERRITT DRIVE. ELEVATION = 24.42
SPOT ELEVATIONS AND PHYSICAL FEATURES ARE WITHIN NATIONAL MAP ACCURACY STANDARDS. I.E. 90% OF ALL ELEVATIONS ARE ACCURATE TO 1/2 CONTOUR INTERVAL.
- OFFSETS SHOWN ARE FOR REFERENCE ONLY AND ARE NOT TO BE USED FOR CONSTRUCTION PURPOSES.
- UTILITIES ARE SHOWN FOR REFERENCE ONLY AND HAVE BEEN LOCATED AS OBSERVED IN FIELD AT THE TIME OF SURVEY. CONTRACTORS MUST VERIFY LOCATIONS PRIOR TO CONSTRUCTION.
- BEARING VALUES ARE BASED ON NJSPCS (NAD 83 DATUM) AS ESTABLISHED BY GPS CONTROL.
- THIS SITE CONTAINS IMPROVEMENTS, SHOWN HEREON. ADDITIONALLY, THIS SITE MAY CONTAIN STRUCTURES AT THE SURFACE OR BELOW THE SURFACE AND NOT VISIBLE, I.E. IRRIGATION SYSTEM, UTILITIES, ETC.
- TOTAL LOT AREA IS 0.93 AC.

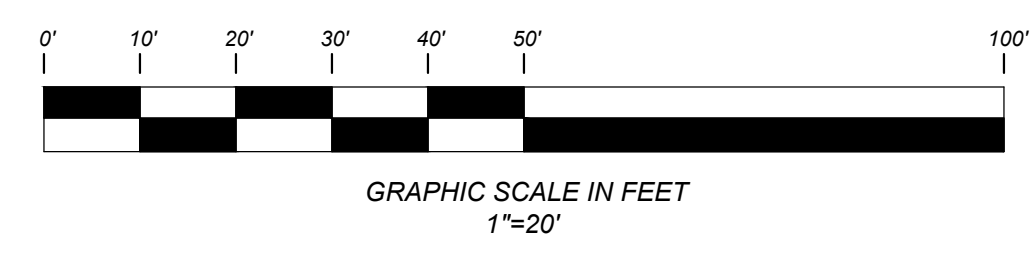


GENERAL LEGEND

- EXISTING ADJOINING PROPERTY LINES
- EXISTING EASEMENT OR SETBACK LINES
- EXISTING CENTERLINES
- 52 --- EXISTING CONTOUR LINE
- .52 --- EXISTING SPOT ELEVATION
- EXISTING WOOD FENCE
- x-x-x-x-x EXISTING CHAIN LINK FENCE
- EXISTING TREE LINE
- EXISTING SIGN
- EXISTING WATER VALVE
- EXISTING UTILITY POLE
- EXISTING OVERHEAD WIRES
- EXISTING WATER LINE
- EXISTING GAS LINE
- EXISTING TELEPHONE LINE
- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- EXISTING ELECTRIC LINE
- EXISTING CABLE
- EXISTING SANITARY FORCE MAIN
- EXISTING MANHOLE
- EXISTING GAS VALVE
- EXISTING LIGHT POLES
- EXISTING FIRE HYDRANTS
- EXISTING PARKING SPACES

PARKING SCHEDULE

REGULAR SPACES	-	36
HANDICAP SPACES	-	2
TOTAL SPACES	-	38



To: **AGENTS TITLE, LLC**
 In consideration of the mutual covenants and promises contained in the agreement between **LEARNING EDGE ACADEMY INC.** and the undersigned, and in a consideration of the fee paid for making this survey (if no fee is paid, this certificate and the survey contained hereon are invalid), the provisions of which are incorporated herein by reference, I declare that this plan is based on a field survey performed by this office under my immediate supervision, and to the best of my professional knowledge, information and belief, and in accordance with the commonly accepted procedures consistent with applicable standards of practice, and does not constitute a warranty or guarantee either expressed or implied: a) correctly represents the condition found as of the date of the field survey, except such easements, if any, below, above or on the surface of the lands and not visible; b) the boundary line of the subject property as shown on the plan are in substantial agreement with the legal description of record provided to this office, except as shown on the plan. This plan is made to provide information to the title insurer and the mortgage holder named above. This declaration is given solely to the named parties for this transaction only and is not transferable, except as provided herein.

WILLIAM P. McMANUS
 PROFESSIONAL LAND SURVEYOR
 NEW JERSEY LICENSE No.31660

DUFFY · DOLCY · McMANUS & ROESCH
 634 Lost Pine Way, Galloway, N.J. 08205 Phone: (609) 652 - 0105 Fax: (609) 652-2032

TOPOGRAPHIC BOUNDARY SURVEY			
Block 75	CITY OF NORTHFIELD		Lot 33
County of Atlantic		State of New Jersey	
Scale: 1"=20'	Proj: 10556	Date: 01-18-21	Dwg. 1 of 1
Dwn. By: EDL	Chk. By: WPM	Fd. Bk.	File No.

No.	REVISION	DATE	BY